



HISTORIC
FRANKLIN
TENNESSEE

Neighborhood Meeting Notice Application

Department of Planning and Sustainability

APPLICANT INFORMATION:

Name:	John Haas		
Organization:	EDGE Planning, Landscape Architecture & Urban Design		
Phone:	615-250-8154	Fax:	
Email:	jhaas@edgela.com		
Street:	4610 Charlotte, Avenue, Ste 100		
State:	TN	ZIP:	37209

PROJECT INFORMATION:

Proposed Name of Project:	Poplar Farms	Address or Parcel(s) of Property:	4099 / 4101 Clovercroft Rd. 4324 / 4326 Murfreesboro Rd.
Project Type:	<input type="checkbox"/> Site Plan; Bed and Breakfast <input type="checkbox"/> Development Plan & Rezoning <input checked="" type="checkbox"/> Development Plan only <input type="checkbox"/> Envision Franklin Amendment		
Describe proposed development: (proposed uses, square footages, dwelling unit count, etc.)	Proposed amendment to approved Development Plan to reduce the side yard setback on 65' front load homes from 7.5' in width to 5'. Reduction would allow for a larger variety of architectural elevations, floor plans and homes to be constructed creating a more visually appealing streetscape. As part of this request the Developer will commit to an increased front-loaded garage setback of 40' in lieu of the 20' minimum.		
Base Zoning District:	PD	Proposed Base Zoning District (if applicable):	
Any Existing Overlay Districts? HPO/FFO/FWO/HHO/CAO	HHO	Pre-application Meeting Date:	6/26/2023

NEIGHBORHOOD MEETING INFORMATION:

Virtual Platform to be Used (please check one):	<input checked="" type="checkbox"/> Zoom Meeting	<input type="checkbox"/> GoTo Meeting	<input type="checkbox"/> Other (specify):
Date & Time of the Neighborhood Meeting (1st and 2nd choices):	1 st July 5, 2023 at 5 pm		2 nd July 6, 2023
Aldermanic Ward: <input checked="" type="checkbox"/> Ward 1 <input type="checkbox"/> Ward 2 <input type="checkbox"/> Ward 3 <input type="checkbox"/> Ward 4	City of Franklin Planner Contact: Chelsea Randolph		

OWNER AFFIDAVIT

City of Franklin, Tennessee

We/I Poplar Farms JV LLC (Dave Bulloch)

(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

Map 80 Parcel 32.00 & 44.01

(Property Parcel/Tax ID Number)

and located at:

4099 Clovercroft Rd & 4101 Clovercroft Rd.

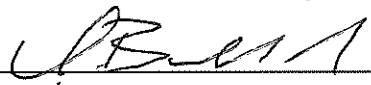
(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

EDGE Planning, Landscape Architecture & Urban Design

(Please print Name/Names in Full)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.


Signature

2555 Meridian Blvd #100


Property Owner Mailing Address

Franklin TN 37067

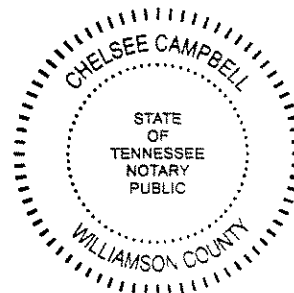
City, State & Zip

Subscribed and sworn to before me this

6 day of March, 2023.


Notary Public

My Commission Expires: My Commission Expires
June 24, 2025



NEIGHBORHOOD MEETING NOTICE

Hello! You are receiving this letter to provide public notice of an upcoming Neighborhood Meeting for a proposed development on the property located at 4099/4101 Clovercroft Road and 4324/4326 Murfreesboro Road, Franklin, TN. The meeting will be held virtually on **July 5 at 5pm**. Provided is the link for the virtual meeting: <https://us06web.zoom.us/j/84459472545> . The link for the meeting can also be found on the City's website.

Project Description:

This is a for an amendment to the approved Development Plan for the Poplar Farms Subdivision consisting of Single Family Detached Residential Homes on varying lot sizes. The approved plan consists of 546 residential lots on 294.07 acres with a significant portion of the site remaining in community or public open space.

Why are you receiving this letter?

The proposed project is within 500' of your property.

What is the purpose of the meeting?

The purpose of the meeting is to make citizens aware of a potential Development Plan Amendment which requests that the side yard setback on 65'+ wide front-loaded lots be reduced from 7.5 feet to 5 feet in width. This reduction would allow for an increased variety of residential homes to be constructed by allowing for varied elevations, floor plans and design elements. In addition, the Developer is committing to increasing the front-loaded garage setback from 20 feet to 40 feet to establish a more architecturally sensitive streetscape. The meeting is meant to be informative and provide an opportunity to ask questions directly to the developers about the project. If the project continues with a formal application to the city, it will go through a Public Hearing process. Please be aware that Public Hearings do **not** involve a question-and-answer session.

Will the project be voted on at this meeting?

No. The neighborhood meeting is for informational purposes only. The project, should the applicant continue with a formal application, will be reviewed by the Franklin Municipal Planning Commission (FMPC) and may also be reviewed by the Board of Mayor and Aldermen (BOMA). Both the FMPC and BOMA meetings will be publicly noticed and will include time for citizens to speak to the project at formal Public Hearing sessions.

Format of the meeting:

5:00 – 5:10 pm informal discussion; time to ask quick questions or take a closer look at the plan

5:10 – 5:25 pm formal presentation by the applicant to discuss the main points of the plan

5:25 – 6:00 pm question and answer time; citizens will ask questions one at a time so all in attendance can hear each question.

Can you see the proposed plans prior to the meeting?

Absolutely! There is a copy of the proposed request within this mailing. If you have any questions prior to the meeting, feel free to contact the applicant: Their contact information is below:

John Haas

EDGE Planning, Landscape Architecture & Urban Design

Email: jhaas@edgela.com

Phone: 615-250-8154

Meeting Date: July 5, 2023

Time: 5:00 pm

Location: <https://us06web.zoom.us/j/84459472545>

Can you watch the Neighborhood Meeting after 7/5/2023?

Absolutely! A recording of the meeting will be posted @:

www.franklintn.gov/neighborhoodmeetings



1 65' FRONT LOAD HOME NTS



2 65' FRONT LOAD HOME NTS



1 65' ALLEY LOT NTS



2 65' ALLEY LOT NTS



3 65' ALLEY LOT NTS

ARCHITECTURE NOTES

1. THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND REFLECT DESIGN INTENT. FINAL ELEVATIONS OF ALL FOUR SIDES WILL BE SUBMITTED AT TIME OF SITE PLAN PER THE REQUIREMENTS OF THE ZONING ORDINANCE.
2. THESE ELEVATIONS ARE A SAMPLING OF THE PROPOSED HOME ELEVATIONS. THE APPLICANT ANTICIPATES MULTIPLE VARIATIONS OF MATERIALS OF EACH ELEVATION PROVIDED. MATERIALS AND COLORS ARE SUBJECT TO FINAL APPROVAL BY THE CITY OF FRANKLIN.
3. FINISHED FLOOR ELEVATION (FFE) SHALL BE A MINIMUM 18" ABOVE FINISH GRADE PER CITY OF FRANKLIN REQUIREMENTS.
4. PER THE CITY OF FRANKLIN ARCHITECTURAL DESIGN STANDARDS, PRIMARY FACADE MATERIALS SHALL NOT CHANGE AT OUTSIDE CORNERS AND SHALL CONTINUE ALONG ANY SIDE FACADE VISIBLE FROM A STREET RIGHT-OF-WAY, HOWEVER, MATERIALS MAY CHANGE WHERE SIDE OR REAR WINGS MEET THE MAIN BODY OF THE DWELLING.
5. FRONT LOAD GARAGE DOORS SHALL ADHERE TO STANDARDS SET FORTH IN THE FRANKLIN ZONING ORDINANCE.
6. GARAGES ON CORNER LOTS WITH SIDES VISIBLE FROM A STREET RIGHT-OF-WAY SHALL INCLUDE ARCHITECTURAL DETAILS AND WINDOWS THAT MIMIC THE FEATURES OF THE LIVING PORTION OF THE BUILDING THEY SERVE.
7. ALL ARCHITECTURAL STYLES CAN BE BUILT AS FRONT LOAD, SIDE LOAD OR REAR LOAD BUILDING ELEVATIONS.
8. WHERE CORNER LOTS EXIST, SECONDARY STREET FACING ELEVATION SHALL MEET THE STANDARDS SET FORTH IN THE ZONING ORDINANCE

EDGE PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
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CONSULTANTS

Poplar Farms
Development Plan
COF # 7420
Franklin, TN

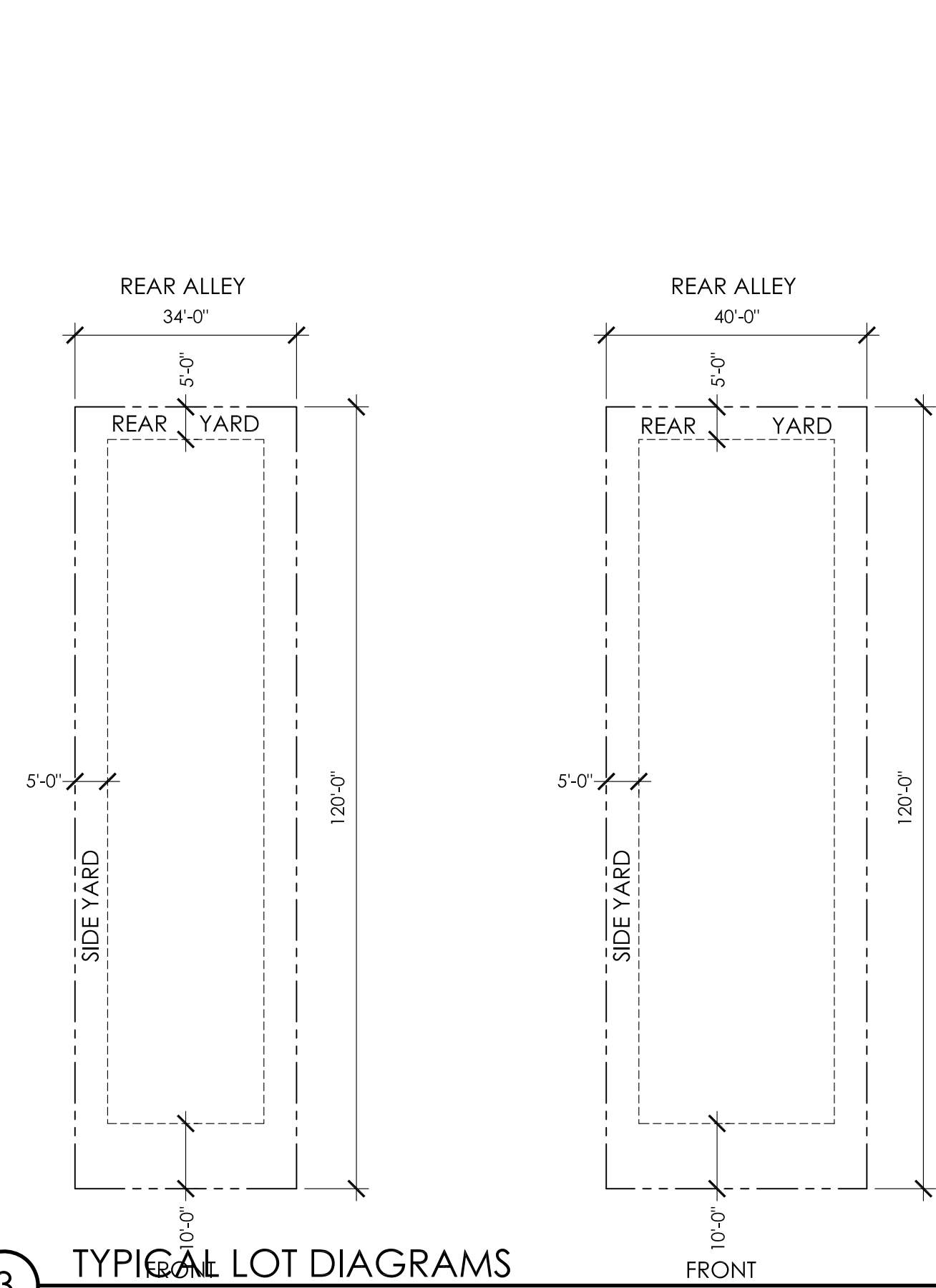
Meritage Homes

CLIENT
5217 Maryland Way, Suite 222
Brentwood TN 37027

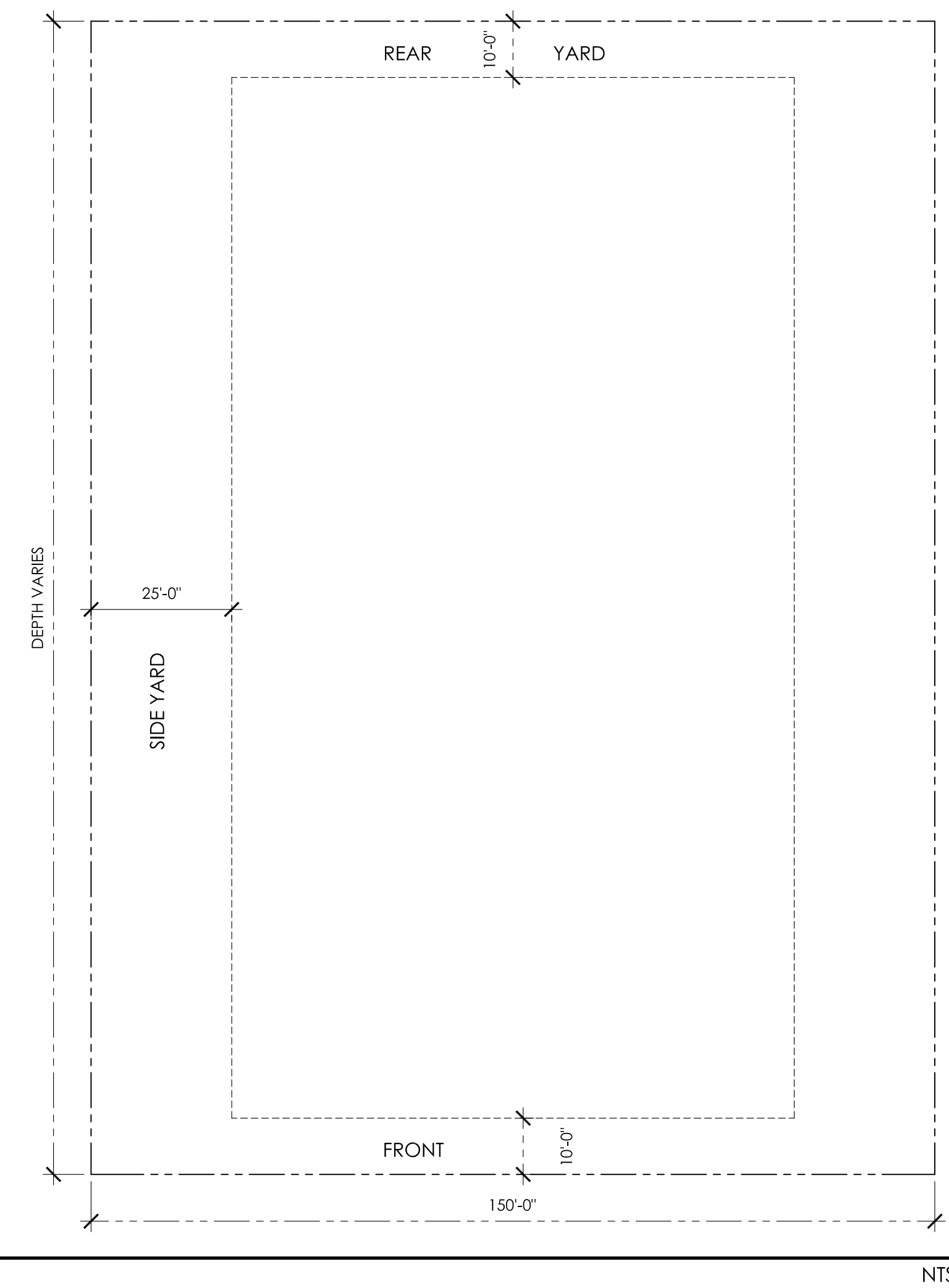
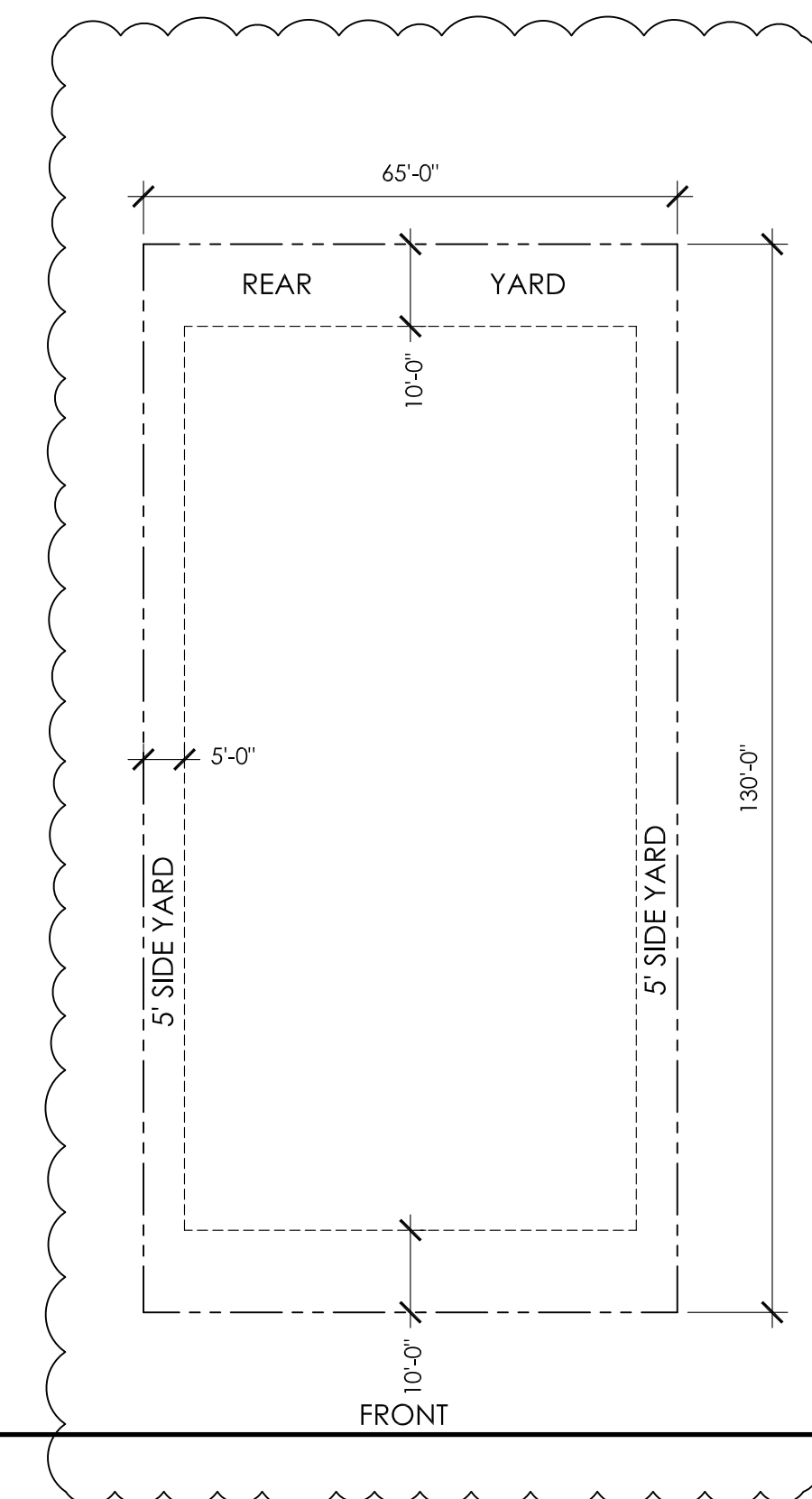
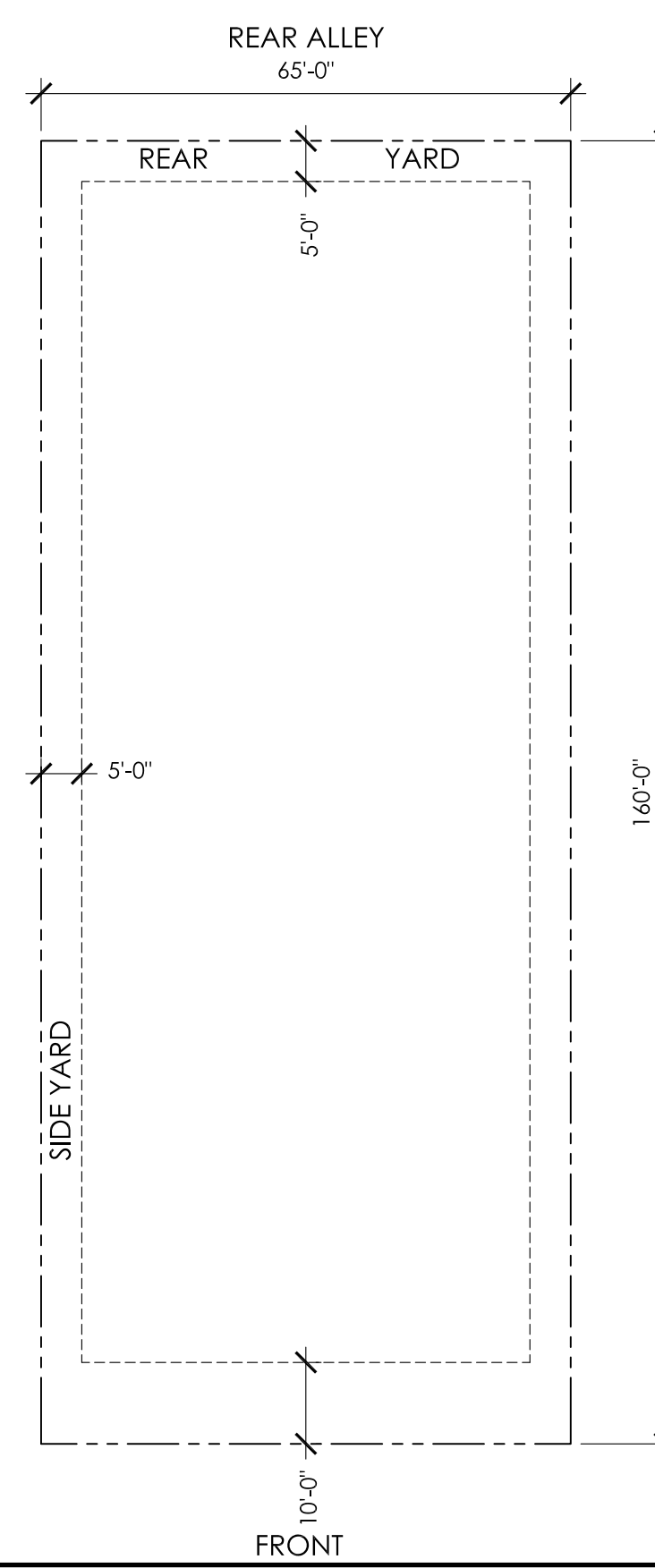
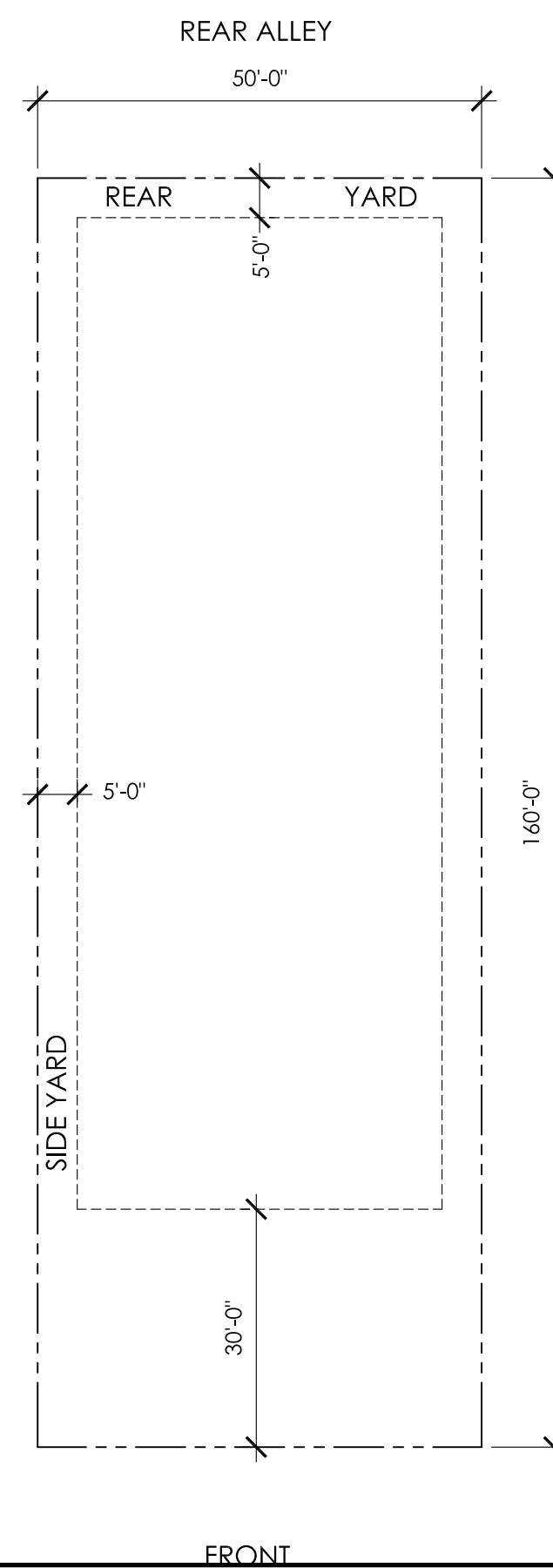
PROJECT NO. 18126
Date: 12/14/2020
Issued for: Development Plan

REVISIONS

1	01/07/2021	PER CITY COMMENTS
2	06/3/2021	PER CITY COMMENTS
3	08/5/2021	PER CITY COMMENTS
4	12/17/2021	ONE STOP
5	1/14/2022	ONE STOP
6	1/27/2022	ONE STOP



3 TYPICAL LOT DIAGRAMS



ARCHITECTURE



Sheet Number
A1.0