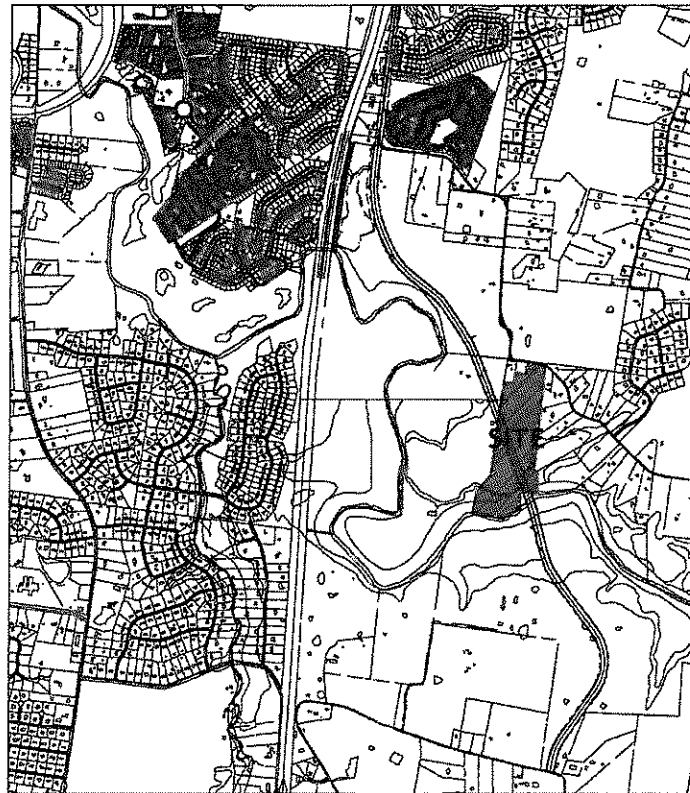


PUD DEVELOPMENT PLAN SUBMITTAL  
**HELM SQUARE**  
 PUD SUBDIVISION SECTIONS 1-4  
 RX - RESIDENTIAL VARIETY  
 FRANKLIN, TENNESSEE  
 CITY OF FRANKLIN PROJECT NO. 2667

FEBRUARY 11, 2013  
 REVISED MARCH 7, 2013



**SITE LOCATION MAP** 

**SITE DATA (SECTIONS 1-4)**

**SUBDIVISION/DEVELOPMENT:** HELM SQUARE  
**CITY OF FRANKLIN PROJECT NUMBER:** ---  
**SUBDIVISION:** N/A  
**TAX MAP, GROUP, PARCEL NUMBERS:** 089-05001 & 104-18121  
**LOT NUMBERS:** 1-168  
**OWNER:** JOHN T. HELM IV & ELLEN HELM SACCHI  
**ADDRESS:** 4419 S CAROTHERS RD.  
**CITY:** FRANKLIN  
**COUNTY:** WILLIAMSON  
**STATE:** TENNESSEE  
**CIVIL DISTRICT:** 14  
**EXISTING ZONING AND CHARACTER AREA OVERLAY:** AG (AGRICULTURE DISTRICT) - MGEWEN -6  
**PROPOSED ZONING:** PUD RX RESIDENTIAL VARIETY  
**OTHER APPLICABLE OVERLAYS:** FFO & PWD  
**INCOMPATIBLE USE BUFFER:** 25' & 37.5' - SEE PLANS  
**APPLICABLE DEVELOPMENT STANDARD:** CONVENTIONAL  
**ACREAGE OF SITE:** +/- 57.23 AC  
**SQUARE FOOTAGE OF SITE:** +/- 2,492,938 SF  
**MINIMUM REQUIRED SETBACK LINES:**  
**FRONT YARD:** 15 FEET / 8 FEET / 0 FEET (WHEN FRONTING GREEN SPACE)  
**SIDE YARD:** 5 FEET  
**REAR YARD:** 4 FEET (ATTACHED) 10 FEET (DETACHED)  
**OWNERS REPRESENTATIVE:** PEARL STREET PARTNERS, LLC  
**ADDRESS:** 205 POWELL PLACE  
 BRENTWOOD, TN, 37027  
**PHONE NO.:** 615.312.8242  
**CONTACT NAME:** KRIST PASCARELLA  
**E-MAIL ADDRESS:** kpascarella@PEARLSTREETPARTNERS.COM  
**APPLICANT:** EDGE PLANNING, LANDSCAPE ARCHITECTURE & GRAPHIC DESIGN  
**ADDRESS:** 210 12TH AVENUE SOUTH, SUITE 202 - NASHVILLE TN 37203  
**PHONE NO.:** (615) 250-8154  
**FAX NO.:** (615) 250-8155  
**CONTACT:** JOHN HAAS - jhaas@edgepa.com  
**BUILDING SQUARE FOOTAGE:** +/- 1,100 SF - 4,500 SF  
**BUILDING HEIGHT:** 3 STORIES  
**LANDSCAPE SURFACE RATIO:** 0.15  
**MINIMUM LANDSCAPE SURFACE RATIO:** 0.1  
**MINIMUM PARKING REQUIREMENT:** 394 SPACES  
**MAXIMUM PARKING LIMIT:** 473 SPACES  
**EXISTING PARKING (IF APPLICABLE):** N/A  
**PARKING PROVIDED:** 394 SPACES  
**RESIDENTIAL DENSITY:** 2.95 DU/AC  
**EXISTING TREE CANOPY:** 29% OF SITE (+/- 16.86 ACRES)  
**EX. TREE CANOPY TO BE PRESERVED:** 54 % REQUIRED / 59 % PROVIDED (+/- 9.95 ACRES)  
 +/- 2.81 AC  
**PARKLAND:** +/- 2.81 AC  
**TOTAL OPEN SPACE REQUIRED:** 15% (8.58 AC)  
**FORMAL OPEN SPACE REQUIRED:** 30% (2.86 AC)  
**INFORMAL OPEN SPACE REQUIRED:** 66% (5.73 AC)  
**FORMAL OPEN SPACE PROVIDED:** +/- 2.86 AC  
**INFORMAL OPEN SPACE PROVIDED:** +/- 11.80 AC

**INDEX OF SHEETS**

SHEET #	TITLE
CO.0	COVER SHEET
C 1.00	BOUNDARY MAP
E 1.00	EXISTING CONDITIONS PLAN
E 2.00	TREE CANOPY PRESERVATION PLAN
L1.0 - L1.02	DEVELOPMENT PLAN
C 2.00	STORMWATER MANAGEMENT PLAN
C 3.00	EXISTING DRAINAGE BASIN PLAN
C 4.00	UTILITIES PLAN
SL 1.0	SITE LIGHTING PLAN
AT.0	ARCHITECTURAL ELEVATIONS

**HELM SQUARE RESIDENTIAL LAND USE DATA**

DEVELOPMENT	APPROVAL DATE	PL ZONED ACRES	SINGLE FAMILY DWELLING UNITS	MULTI-FAMILY TOWNHOME / VILLA DWELLING UNITS	TOTAL DWELLING UNITS	LOT NUMBERS OF BUILDABLE LOTS	LOT NUMBERS OF OPEN SPACE LOTS	REMAINING ACRES	REMAINING DWELLINGS
CONCEPT PLAN		57.23	87	82	169			57.23	169
SECTION 1		17.20	50	10	60	14-51 / 64-84	1,2,3,4	40.03	109
SECTION 2		16.48	25	24	49	1-13 / 52-106	5,6,7	23.55	60
SECTION 3		18.84	---	48	48	121-168	10,11	4.70	12
SECTION 4		4.71	12	0	12	109-120	8,9	0	0

**HELM SQUARE RESIDENTIAL PHASING**

DEVELOPMENT	COMMENCEMENT DATE : YEAR	SINGLE FAMILY DWELLING UNITS	MULTI-FAMILY TOWNHOME / VILLA DWELLING UNITS	RATE OF DEVELOPMENT	ESTIMATED COMPLETION DATE
SECTION 1	2013	50	10	---	2014
SECTION 2	2014	25	24	---	2014
SECTION 3	2014	0	48	---	2015
SECTION 4	2015	12	0	---	2015

PREPARED FOR:  
**CRESCENT RESOURCES**  
 227 W. TRADE STREET, SUITE 1000  
 CHARLOTTE, NC. 28202  
 615.312.8242

PREPARED BY:

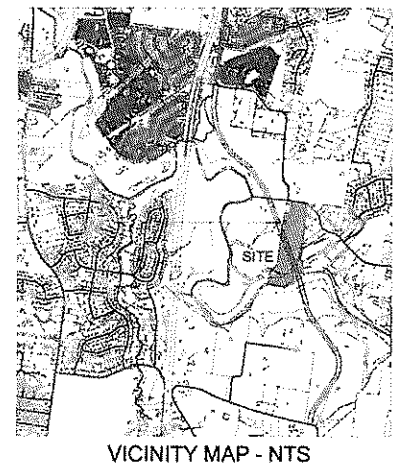


LAND DESCRIPTION - AREA 1  
 HELM PROPERTY  
 TAX MAP 099 PARCEL 9001  
 Beginning at a 5/8" diameter iron rebar new with yellow Gresham Smith and Partners cap (1965, 194 E20 E 1.724, 228 758) in the westerly line of said property and the westerly right-of-way line of the proposed South Carothers Parkway, Deed Book 4871, Page 337, (R.O.W.C.), Thence North 89 Degrees 45 Minutes 35 Seconds East 352.22 feet to a 1/2" diameter iron rebar existing, and the southeast corner of the Lillian M. Helms property, Deed Book 4816, Page 644, (R.O.W.C.), Thence with the southerly and westerly lines of the Lillian M. Helms property, the following two (2) calls and distances:  
 1. South 82 Degrees 08 Minutes 43 Seconds East 196.56 feet to a 1/2" diameter iron rebar existing with a 1/2" diameter iron rebar existing, and the southeast corner of John T. Helm, Thence with the southerly and westerly lines of the Lillian M. Helms property, the following two (2) calls and distances:  
 1. North 05 Degrees 27 Minutes 36 Seconds East 247.57 feet to a 1/2" diameter iron rebar existing.  
 2. North 06 Degrees 06 Minutes 25 Seconds East 254.36 feet to a 1/2" diameter iron rebar existing.  
 3. North 06 Degrees 06 Minutes 25 Seconds East 247.57 feet to a point in the centerline of the existing South Carothers Road, Thence, in an easterly direction with the westerly line of said property, the following four (4) calls and distances:  
 1. South 82 Degrees 08 Minutes 43 Seconds East, 189.73 feet.  
 2. South 80 Degrees 37 Minutes 54 Seconds East, 18.97 feet.  
 3. South 79 Degrees 40 Minutes 38 Seconds East, 18.38 feet.  
 4. A curve to the right, with a radius of 350.44 feet, an arc length of 122.50 feet, and having a chord bearing and distance of South 69 Degrees 40 Minutes 07 Seconds East, 121.49 feet.  
 Thence, leaving the centerline of South Carothers Road, with the westerly boundary line of said property, South 05 Degrees 28 Minutes 02 Seconds West 23.09 feet to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap, a common corner with the James K. Southernland property, Deed Book 1543, Page 827 (R.O.W.C.). Thence with said line South 05 Degrees 28 Minutes 02 Seconds West 372.83 feet to a 1/2" diameter iron rebar existing, a common corner with the Henry M. Small property, Deed Book 774, Page 756 (R.O.W.C.). Thence with said line South 05 Degrees 28 Minutes 02 Seconds West, 490.02 feet to a 1/2" diameter iron rebar existing, a common corner with the James L. Emery & Edith Emery property, Deed Book 5418, Page 307 (R.O.W.C.). Thence with said line the following three (3) calls and distances:  
 1. South 05 Degrees 28 Minutes 02 Seconds West 159.70 feet to the center of a 24" diameter Hackberry tree.  
 2. South 82 Degrees 08 Minutes 43 Seconds East 20.74 feet to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap.  
 3. South 05 Degrees 28 Minutes 02 Seconds West 180.00 feet to a 1/2" diameter iron rebar existing, a common corner with the Jerry Maxwell Martin property, Deed Book 333, Page 330 (R.O.W.C.). Thence with said line South 05 Degrees 28 Minutes 02 Seconds West 294.43 feet to a 5/8" diameter iron rebar existing, a common corner with the Larry M. Moore property, Deed Book 331, Page 328 (R.O.W.C.). Thence with said line the following three (3) calls and distances:  
 1. South 05 Degrees 28 Minutes 02 Seconds West 314.97 feet to a 5/8" diameter iron rebar existing.  
 2. South 05 Degrees 28 Minutes 02 Seconds West 140.77 feet to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap.  
 3. North 84 Degrees 04 Minutes 06 Seconds East 66.38 feet to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap (curved corner), passing through this point, North 86 Degrees 46 Minutes 07 Seconds East 24.27 feet to a point in a creek, common corner with Thomas P. Seagrather property, Deed Book 331, Page 328 (R.O.W.C.). Thence with said line South 03 Degrees 28 Minutes 42 Seconds West 428.84 feet to an existing 1" pipe (curved corner), passing through this point, South 03 Degrees 28 Minutes 42 Seconds West, 37.23 feet for a total distance of 475.06 feet to a point in the Harpeth River as the line of the Harpeth River LP. Thence with said line, North 87 Degrees 16 Minutes 28 Seconds West 182.39 feet to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap in the westerly right-of-way line of the proposed South Carothers Parkway. Thence, with the westerly line of said right-of-way, the following four (4) calls and distances:  
 1. North 71 Degrees 06 Minutes 03 Seconds West, 164.64 feet, to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap.  
 2. North 28 Degrees 28 Minutes 37 Seconds East, 25.54 feet to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap.  
 3. North 21 Degrees 08 Minutes 03 Seconds West, 120.07 feet to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap.  
 4. North 70 Degrees 41 Minutes 03 Seconds West, 18.00 feet to the North of Beginning.  
 The above description contains 2,406,899 sq. ft. (1.717138 acres (1/2)) according to survey data prepared by Gresham Smith and Partners, 511 Union Street, Nashville, Tennessee 37219-1733, Kenneth D. Church, TN RLS 10204 on October 4th, 2012. Source of North is per Tennessee Grid North (NAD 1983).

LAND DESCRIPTION - AREA 2  
 HELM PROPERTY  
 TAX MAP 106 PARCEL 151.21  
 Beginning at a 5/8" diameter iron rebar new with yellow Gresham Smith and Partners cap (1965, 194 E20 E 1.724, 228 758) in the northwest corner of said property and the westerly right-of-way line of the proposed South Carothers Parkway, Deed Book 4871, Page 337, (R.O.W.C.), Thence, with the westerly line of said right-of-way, South 21 Degrees 06 Minutes 01 Seconds East 1532.13 feet to a 5/8" diameter iron rebar new with yellow Gresham Smith and Partners cap, and the northwest corner of the Trillium Farms, LP property, (R.O.W.C.), Thence, South 11 Degrees 35 Minutes 23 Seconds West 325.25 feet to a point on the centerline of the Big Harpeth River, passing through a 5/8" iron rebar new with yellow Gresham Smith and Partners cap at 373.00 feet.  
 Thence, in an easterly direction with the centerline of the Big Harpeth River, the following (15) calls and distances with the centerline dated 10/03/12 by GPS:  
 1. South 34 Degrees 15 Minutes 33 Seconds West 76.91 feet.  
 2. South 47 Degrees 00 Minutes 00 Seconds West 59.23 feet.  
 3. South 63 Degrees 38 Minutes 23 Seconds West 120.06 feet.  
 4. South 64 Degrees 13 Minutes 48 Seconds West 71.41 feet.  
 5. South 64 Degrees 13 Minutes 34 Seconds West, 71.41 feet.  
 6. South 63 Degrees 15 Minutes 48 Seconds West 34.43 feet.  
 7. South 33 Degrees 09 Minutes 26 Seconds West 41.49 feet.  
 8. North 84 Degrees 59 Minutes 10 Seconds West 43.23 feet.  
 9. North 42 Degrees 09 Minutes 55 Seconds West 45.98 feet.  
 10. North 78 Degrees 01 Minutes 55 Seconds West 45.99 feet.  
 11. North 74 Degrees 54 Minutes 04 Seconds West 83.60 feet.  
 12. North 73 Degrees 55 Minutes 25 Seconds West 114.61 feet.  
 13. North 84 Degrees 59 Minutes 10 Seconds West 32.12 feet.  
 14. North 65 Degrees 42 Minutes 25 Seconds West 38.63 feet.  
 15. North 48 Degrees 15 Minutes 47 Seconds West 54.43 feet.  
 16. South 59 Degrees 15 Minutes 31 Seconds West 72.34 feet.  
 17. North 81 Degrees 53 Minutes 43 Seconds West 18.49 feet.  
 18. South 85 Degrees 44 Minutes 43 Seconds West 26.19 feet.  
 19. South 87 Degrees 49 Minutes 59 Seconds West 14.50 feet to a common corner with Creighton Land Co., LLC, Deed Book 4240, Page 434 (R.O.W.C.). Thence with said line the following eight (8) calls and distances:  
 1. North 35 Degrees 32 Minutes 34 Seconds East, 49.11 feet to a 1/2" diameter iron rebar existing with RLS 2059 cap.  
 2. North 33 Degrees 41 Minutes 31 Seconds East, 86.47 feet to an existing wood fence post.  
 3. North 19 Degrees 24 Minutes 24 Seconds East, 69.33 feet to an existing wood fence post.  
 4. North 16 Degrees 34 Minutes 39 Seconds East 265.50 feet to an existing wood fence post.  
 5. North 37 Degrees 21 Minutes 49 Seconds East 185.81 feet to an existing wood fence post.  
 6. North 37 Degrees 38 Minutes 54 Seconds East 222.73 feet to an existing wood fence post.  
 7. North 06 Degrees 59 Minutes 18 Seconds East 716.33 feet to a 1/2" diameter iron rebar existing with RLS 2059 cap.  
 8. North 87 Degrees 55 Minutes 21 Seconds East 352.69 feet to a 5/8" diameter iron rebar new with yellow Gresham Smith and Partners cap at the Point of Beginning.  
 The above land description conforms 1,620,932 sq. ft. (1.1713 acres (1/2)) according to survey data prepared by Gresham Smith and Partners, 511 Union Street, Nashville, Tennessee 37219-1733, Kenneth D. Church, TN RLS 10204 on October 4th, 2012. Source of North is per Tennessee Grid North (NAD 1983).

**LEGEND**

- FLOODPLAIN
- SLOPE EASEMENT  
DEED BOOK 4971 PAGES 322-335
- TEMPORARY CONSTRUCTION EASEMENT  
DEED BOOK 4971 PAGES 322-335
- PERMANENT DRAINAGE EASEMENT  
DEED BOOK 4971 PAGES 335



**SURVEY NOTE:**  
 1 BOUNDARY SURVEY AND DESCRIPTION OF HELM PROPERTY WAS PERFORMED BY GRESHAM SMITH AND PARTNERS DATED 10/04/12.

**SITE DATA:**

PROJECT NAME: HELM SQUARE  
 TAX MAP: 089 & 106  
 PARCEL: 50.01 & 181.21  
 CITY: FRANKLIN  
 COUNTY: WILLIAMSON  
 STATE: TENNESSEE  
 CIVIL DISTRICT: 14TH  
 LAND USE/ZONING: AG  
 ADDRESS: 4418 S. CAROTHERS ROAD, FRANKLIN, TENNESSEE

OWNER: JOHN T. HELM, IV & ELLEN HELM SACCHI

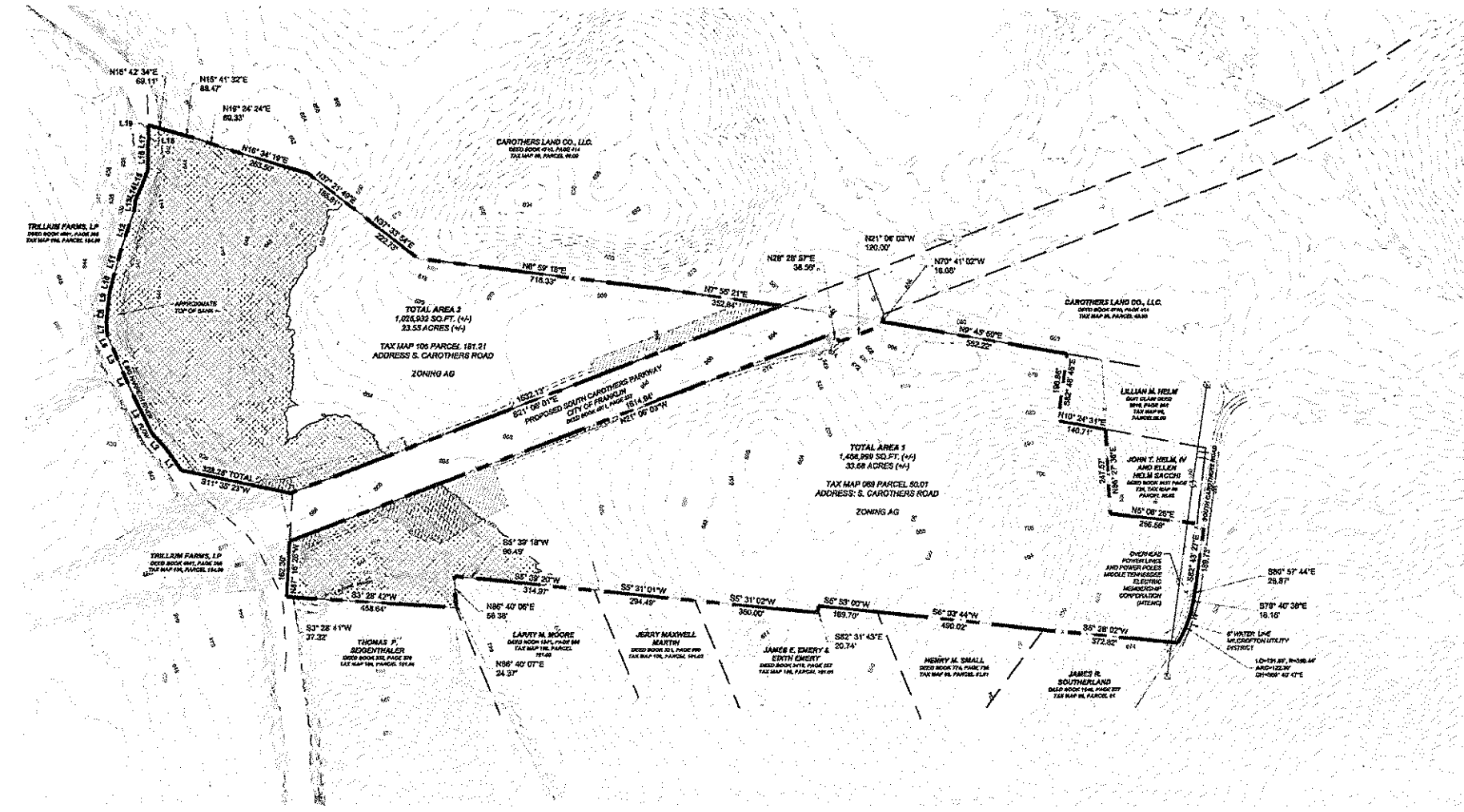
TOTAL AREA: 57.23 ACRES ±

**RIVER CENTERLINE**

Line #	Length	Direction
L1	78.91	S54° 58' 22"W
L2	59.25	S47° 00' 00"W
L3	158.06	S63° 38' 23"W
L4	71.41	S20° 12' 48"W
L5	71.41	S89° 54' 14"W
L6	34.43	S19° 19' 46"W
L7	41.43	S85° 49' 28"W
L8	45.13	N54° 58' 10"W
L9	45.98	N63° 02' 51"W
L10	45.99	N70° 04' 59"W
L11	83.60	N74° 54' 04"W
L12	116.81	N71° 59' 59"W
L13	32.12	N64° 37' 28"W
L14	39.43	N85° 42' 28"W
L15	54.51	N89° 10' 48"W
L16	72.34	S59° 16' 31"W
L17	18.49	N81° 57' 39"W
L18	26.19	S65° 44' 43"W
L19	14.50	S87° 49' 59"W

**EXISTING UTILITIES**

- SANITARY SEWER MAIN/PIPE
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- SANITARY SEWER LINE
- WATER LINE
- UTILITY POLE
- FENCE



**EDGE**  
 CONSULTANTS

210 Twelfth Avenue South  
 Suite 202  
 Nashville, Tennessee 37203  
 P 615-250-8154  
 F 615-250-8155

**FISHER & ARNOLD, INC.**  
 CONSULTANTS



PROJECT TITLE  
**Helm Square**  
 PUD Development Plan  
 Franklin, TN  
 COF # \_\_\_\_\_

CLIENT  
**Crescent Resources**  
 Charlotte, NC

PROJECT NO. 12142  
 Date 2/11/13

Revisions  
 1 03/07/2013

Sheet Title

BOUNDARY MAP  
 Sheet Number  
 C-1.0

IF YOU SEE THIS...  
 CALL US...  
 1-800-351-1111  
 THROUGHOUT THE U.S.  
 IT'S THE LAW

0 100' 200' 400'

N

**LAND DESCRIPTION - AREA 1**  
**HELM PROPERTY**  
**TAX MAP 089 PARCEL 1021**

Beginning at a 5/8" diameter iron rebar new with yellow Gresham Smith and Partners cap (N456, 194.100 E.L. 714, 424.358) in the easterly line of said property and the westerly right-of-way line of the proposed South Carothers Parkway, Deed Book 4071, Page 337 (R.O.W.C.);

Thence, North 09 Degrees 43 Minutes 30 Seconds East 552.22 feet to a 4" diameter iron rebar ending, and the southwest corner of the 1.816 A. Helm property, Q.J.R. Chas. Deed 5654, Page 604 (R.O.W.C.);

Thence, with the easterly and easterly lines of the 1.816 A. Helm property, the following (2) call and distances:

1. South 82 Degrees 48 Minutes 45 Seconds East 194.85 feet to a 1/2" diameter iron rebar ending with a RGR 81.4 (7/2/04);
2. North 10 Degrees 54 Minutes 31 Seconds East 140.71 feet to a 1/2" diameter iron rebar ending with a RGR 81.4 (7/2/04) cap southwest corner of John T. Helm, IV's property, Deed Book 563, Page 726 (Tax Map 089 Parcel 1021);

Thence with said line the following three (3) call and distances:

1. North 85 Degrees 27 Minutes 36 Seconds East 247.57 feet to a 1/2" diameter iron rebar ending;
2. North 01 Degrees 06 Minutes 36 Seconds East 336.36 feet to a 1/2" diameter iron rebar ending;

3. North 09 Degrees 06 Minutes 26 Seconds East 10.72 feet to a point in the centerline of the existing South Carothers Road, in an easterly direction with the centerline of South Carothers Road, the following four (4) call and distances:

1. South 82 Degrees 43 Minutes 27 Seconds East, 120.72 feet;
2. South 80 Degrees 57 Minutes 44 Seconds East, 26.87 feet;
3. South 79 Degrees 40 Minutes 36 Seconds East, 13.18 feet;
4. A curve to the right, with a radius of 352.44 feet, an arc length of 122.30 feet, and having a chord bearing and distance of South 69 Degrees 40 Minutes 47 Seconds East, 121.88 feet;

Thence, leaving the centerline of South Carothers Road, with the easterly boundary line of said property, South 05 Degrees 28 Minutes 02 Seconds West 25.00 feet to a 1/2" diameter iron rebar ending with yellow Gresham Smith and Partners cap, a common corner with the James H. Southerland property, Deed Book 1645, Page 817 (R.O.W.C.);

Thence with said line South 05 Degrees 28 Minutes 02 Seconds West 371.82 feet to a 2" diameter iron pipe ending, a common corner with the Henry M. Smith property, Deed Book 774, Page 754 (R.O.W.C.);

Thence with said line South 06 Degrees 03 Minutes 44 Seconds West, 490.02 feet to a 5/8" diameter iron rebar ending, a common corner with the James L. Emery & Edith Emery property, Deed Book 5415, Page 357 (R.O.W.C.);

Thence with said line the following three (3) call and distances:

1. South 05 Degrees 59 Minutes 09 Seconds West 168.70 feet to the center of a 24" diameter fire hydrant iron;
2. South 82 Degrees 31 Minutes 43 Seconds East 20.74 feet to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap;
3. South 03 Degrees 31 Minutes 02 Seconds West 350.00 feet to a 1" diameter iron rebar ending, a common corner with the Jerry M. Moore property, Deed Book 331, Page 820 (R.O.W.C.);

Thence with said line South 05 Degrees 31 Minutes 01 Seconds West 294.49 feet to a 5/8" diameter iron rebar ending, a common corner with the Henry M. Moore property, Deed Book 524, Page 308 (R.O.W.C.);

Thence with said line the following three (3) call and distances:

1. South 05 Degrees 39 Minutes 20 Seconds West 314.97 feet to a 5/8" diameter iron rebar ending;
2. South 03 Degrees 39 Minutes 18 Seconds West 96.49 feet to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap;
3. North 85 Degrees 40 Minutes 06 Seconds East 66.38 feet to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap (left-hand corner), passing through this pole, North 05 Degrees 40 Minutes 07 Seconds East 24.37 feet to a point in a creek common corner with Thomas P. Selinger property, Deed Book 132, Page 309 (R.O.W.C.);

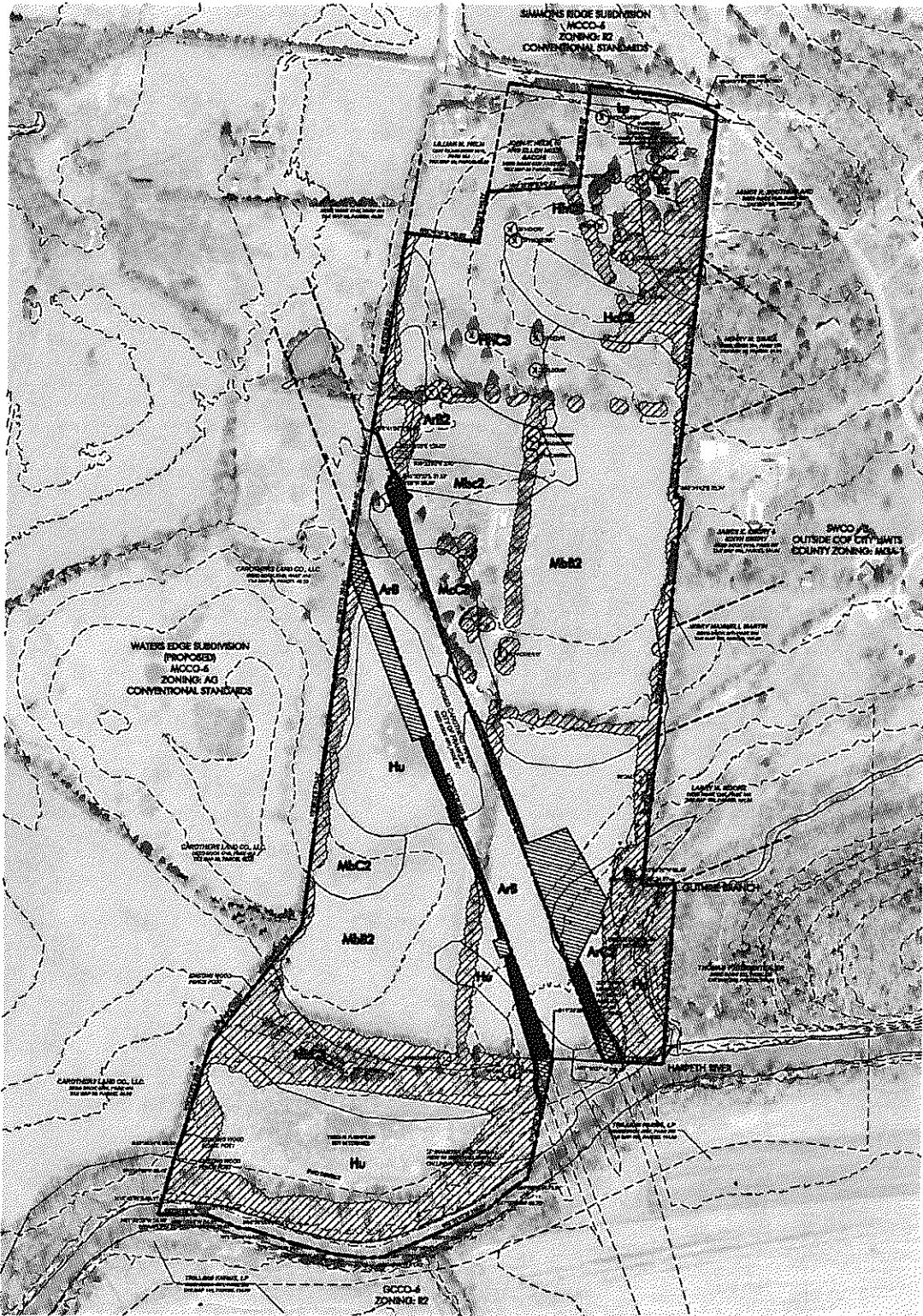
Thence with said line South 03 Degrees 28 Minutes 42 Seconds West 453.64 feet to an existing 12" pipe (right-hand corner), passing through this pole, South 03 Degrees 28 Minutes 42 Seconds West, 87.32 feet for a total distance of 495.96 feet to a point in the line of the 1.816 A. Helm property;

Thence with said line, North 87 Degrees 15 Minutes 28 Seconds West, 162.30 feet to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap in the westerly right-of-way line of the proposed South Carothers Parkway;

Thence, with the westerly line of said right-of-way, the following four (4) call and distances:

1. North 21 Degrees 05 Minutes 03 Seconds West, 1614 feet, to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap;
2. North 28 Degrees 28 Minutes 27 Seconds East, 38.56 feet to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap;
3. North 21 Degrees 05 Minutes 03 Seconds West, 120.00 feet to a 1/2" diameter iron rebar new with yellow Gresham Smith and Partners cap;
4. North 70 Degrees 41 Minutes 02 Seconds West, 16.08 feet to the Point of Beginning.

The above land description contains 1,464,993 sq. ft. (44 1/3 or 33.58 acres +/-) according to a survey prepared by Gresham Smith and Partners, 511 Union Street, Nashville, Tennessee 37219-1733, Town of O. Church, TN RLS #1204 on October 4th, 2012. Source of North is per Tennessee GSD North (NAD 1983).



**LAND DESCRIPTION - AREA 2**  
**HELM PROPERTY**  
**TAX MAP 106 PARCEL 128.21**

Beginning at a 5/8" diameter iron rebar new with yellow Gresham Smith and Partners cap (N456, 194.100 E.L. 714, 424.358) in the easterly line of said property and the westerly right-of-way line of the proposed South Carothers Parkway, Deed Book 4071, Page 337 (R.O.W.C.);

Thence, with the westerly line of said right-of-way, South 21 Degrees 06 Minutes 01 Seconds East 1332.23 feet to a 5/8" diameter iron rebar new with yellow Gresham Smith and Partners cap, and the northwest corner of the 1.816 A. Helm property, Q.J.R. Chas. Deed 5654, Page 604 (R.O.W.C.);

Thence, South 21 Degrees 06 Minutes 01 Seconds East 328.25 feet to a point on the centerline of the Big Harpeth River, passing through a 5/8" iron rebar new with yellow Gresham Smith and Partners cap at 175.00 feet;

Thence, in a northeasterly direction with the centerline of the Big Harpeth River, the following direction (19) call and distances with the centerline of the Big Harpeth River:

1. South 54 Degrees 55 Minutes 33 Seconds West 76.91 feet;
2. South 47 Degrees 00 Minutes 04 Seconds West 69.20 feet;
3. South 63 Degrees 38 Minutes 23 Seconds West 130.05 feet;
4. South 66 Degrees 15 Minutes 44 Seconds West 71.41 feet;
5. South 58 Degrees 54 Minutes 14 Seconds West, 74.43 feet;
6. South 65 Degrees 15 Minutes 44 Seconds West 84.43 feet;
7. South 85 Degrees 49 Minutes 24 Seconds West, 45.49 feet;
8. North 84 Degrees 59 Minutes 10 Seconds West 45.13 feet;
9. North 83 Degrees 09 Minutes 51 Seconds West 45.98 feet;
10. North 78 Degrees 04 Minutes 55 Seconds West 46.39 feet;
11. North 74 Degrees 54 Minutes 04 Seconds West 83.60 feet;
12. North 71 Degrees 55 Minutes 53 Seconds West 116.01 feet;
13. North 64 Degrees 39 Minutes 28 Seconds West 32.12 feet;
14. North 65 Degrees 42 Minutes 29 Seconds West 39.63 feet;
15. North 68 Degrees 18 Minutes 48 Seconds West 54.81 feet;
16. South 89 Degrees 16 Minutes 31 Seconds West 72.34 feet;
17. North 81 Degrees 53 Minutes 36 Seconds West 38.66 feet;
18. South 86 Degrees 44 Minutes 43 Seconds West 26.10 feet;
19. South 67 Degrees 49 Minutes 59 Seconds West 14.50 feet to a common corner with Carothers Land Co., LLC, Deed Book 4740, Page 424 (R.O.W.C.);

Thence with said line the following eight (8) call and distances:

1. North 16 Degrees 42 Minutes 34 Seconds East 60.11 feet to a 1/2" diameter iron rebar ending with RLS 2009 cap;
2. North 15 Degrees 41 Minutes 33 Seconds East 88.47 feet to an existing wood fence post;
3. North 19 Degrees 24 Minutes 24 Seconds East 69.53 feet to an existing wood fence post;
4. North 16 Degrees 34 Minutes 19 Seconds East 263.50 feet to an existing wood fence post;
5. North 37 Degrees 21 Minutes 49 Seconds East 185.91 feet to an existing wood fence post;
6. North 37 Degrees 33 Minutes 54 Seconds East 227.79 feet to an existing wood fence post;
7. North 06 Degrees 59 Minutes 18 Seconds East 716.39 feet to a 1/2" diameter iron rebar ending with RLS 2009 cap;
8. North 07 Degrees 55 Minutes 21 Seconds East 352.94 feet to a 5/8" diameter iron rebar new with yellow Gresham Smith and Partners cap in the Point of Beginning.

The above land description contains 1,025,932 sq. ft. (4 1/3 or 28.55 acres +/-) according to a survey prepared by Gresham Smith and Partners, 511 Union Street, Nashville, Tennessee 37219-1733, Town of O. Church, TN RLS #1204 on October 4th, 2012. Source of North is per Tennessee GSD North (NAD 1983).

- PROPOSED CAROTHERS PKWY LEGEND:**
- [Pattern] SLOPE EASEMENT DEED BOOK 4971 PAGES 322-335
  - [Pattern] TEMPORARY CONSTRUCTION EASEMENT DEED BOOK 4971 PAGES 322-335
  - [Pattern] PERMANENT DRAINAGE EASEMENT DEED BOOK 4971 PAGES 335
- LEGEND:**
- [Pattern] EXISTING TREE CANOPY

**SITE DATA**

PROJECT NAME: HELM SQUARE  
 TAX MAP: 89 & 106  
 PARCEL: 089-05007 & 106-18121  
 CITY: FRANKLIN  
 COUNTY: WILLIAMSON  
 STATE: TENNESSEE  
 CIVIL DISTRICT: 14  
 LAND USE ZONING: AG (AGRICULTURAL DISTRICT)  
 ADDRESS: 4419 S CAROTHERS ROAD  
 FRANKLIN, TENNESSEE

DEED BOOK:  
 OWNER: JOHN T. HELM IV & ELLEN HELM SACCH

EXISTING ZONING AND CHARACTER AREA OVERLAY: AG (AGRICULTURE DISTRICT) - McEWEN  
 PROPOSED ZONING: PUD RX - RESIDENTIAL VARIETY  
 OTHER APPLICABLE OVERLAYS: PFO & PWO  
 APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL  
 ACREAGE OF SITE: +/- 57.23 (+/- 2,492,936 SF)

**SITE USE ACREAGE:**

SECTION 1:  
 RESIDENTIAL: +/- 17.20 AC  
 RESIDENTIAL: +/- 10.63 AC  
 OPEN SPACE: +/- 1.36 AC (FORMAL)  
 +/- 1.24 AC (INFORMAL)

SECTION 2:  
 RESIDENTIAL: +/- 16.48 AC  
 RESIDENTIAL: +/- 6.70 AC  
 OPEN SPACE: +/- 6.72 AC (INFORMAL)

SECTION 3:  
 RESIDENTIAL: +/- 18.84 AC  
 RESIDENTIAL: +/- 2.47 AC (FORMAL)  
 OPEN SPACE: +/- 10.22 AC (INFORMAL)

SECTION 4:  
 RESIDENTIAL: +/- 4.71 AC  
 RESIDENTIAL: +/- 2.13 AC  
 OPEN SPACE: +/- 1.49 AC (INFORMAL)

EXISTING SITE TREE CANOPY: +/- 16.86 AC (29% OF TOTAL SITE AREA)

**EXISTING SOILS CHART:**

Code	Description	Soil	Notes
AuB	Armour silt loam, 2 to 5 percent slopes	Up	Lindsay silt loam, phosphatic
AuB2	Armour silt loam, 2 to 5 percent slopes		gray silt loam, 2 to 5 percent slopes, eroded
AuC2	Armour silt loam, 5 to 12 percent slopes, eroded	MaC2	Mauzy silt loam, 5 to 12 percent slopes, eroded
CaA	Copline silt loam, phosphatic, 0 to 2 percent slopes	MaC3	Mauzy silt loam, 5 to 12 percent slopes, severely eroded
CaB	Copline silt loam, phosphatic, 2 to 5 percent slopes	MaD	Mimosa and Ashwood very rocky soils, 5 to 20 percent slopes
CaB2	Copline silt loam, phosphatic, 2 to 5 percent slopes, eroded	Rc	Rockland
HcC3	Hopshires silt loam, 5 to 12 percent slopes, severely eroded	Se	Sequestache loam, phosphatic
HcC2	Hopshires-collart silt loam, 5 to 12 percent slopes, eroded	Tb	Toti silt loam, phosphatic
HcC1	Hopshires-collart silt loam, 5 to 12 percent slopes, severely eroded	TbO	Totipot very rocky soils, 2 to 15 percent slopes
Hu	Huntington silt loam, phosphatic		

- EXISTING CONDITION PLAN NOTES:**
1. ALL MINERAL RIGHTS OF THIS PROPERTY ARE HELD BY THE OWNER OF RECORD.
  2. THERE ARE NO EXISTING STRUCTURES ON THE PROJECT SITE.
  3. THERE ARE NO HISTORIC STRUCTURES WITHIN 500' OF THE SITE.



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03/07/13

**Helm Square**  
**PUD Development Plan**  
 Franklin, TN  
 COF #2667

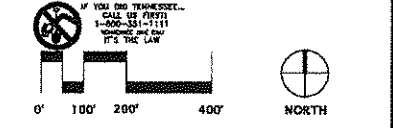
**Crescent Resources**  
 Charlotte, NC

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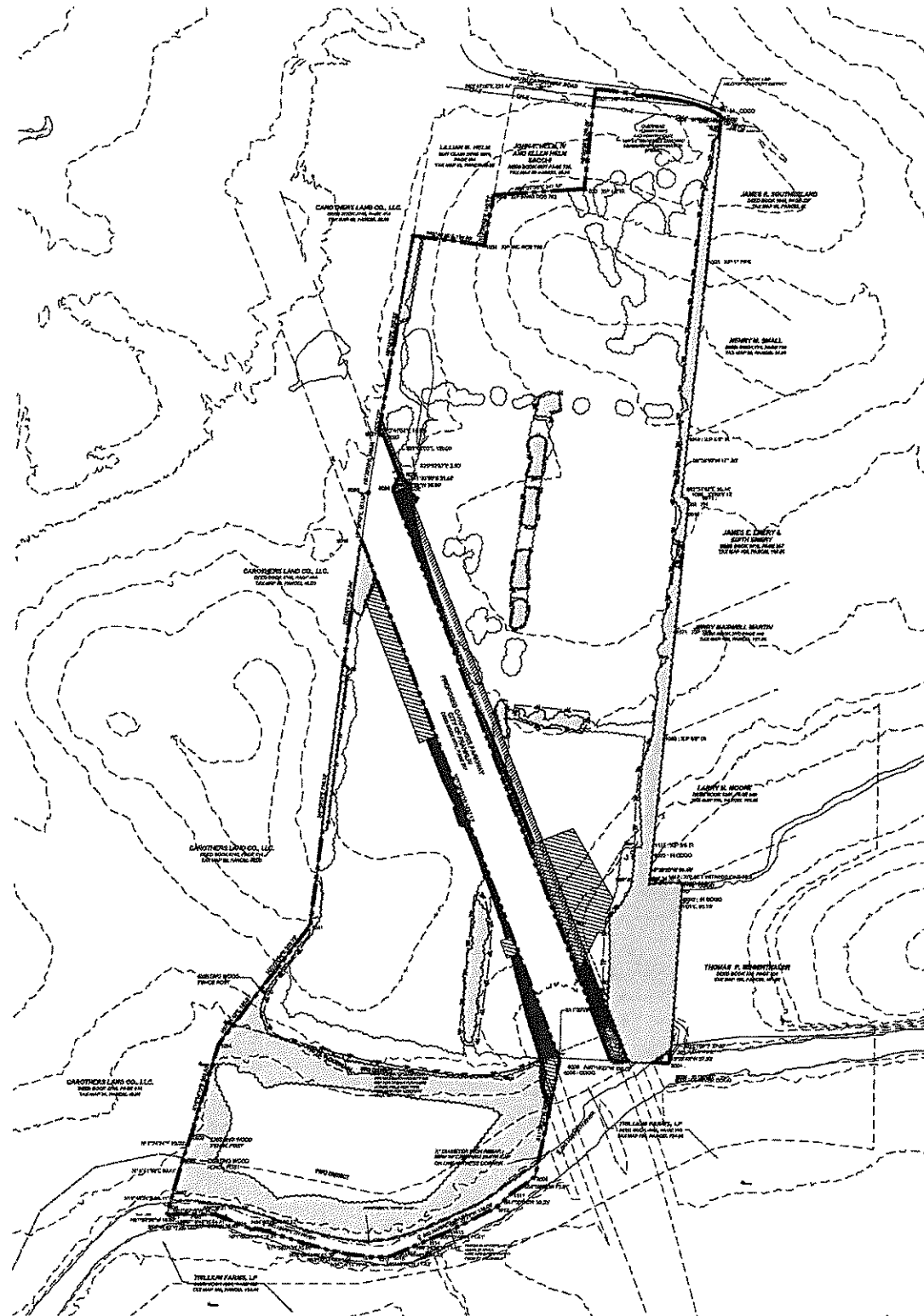


PROJECT NO. 13007  
 Date 2/11/13  
 Revisions  
 03/07/2013

Sheet Title

EXISTING CONDITIONS

Sheet Number



**LEGEND:**

- TREE CANOPY TO BE PRESERVED
- TP TREE PROTECTION FENCE
- EXISTING TREE CANOPY

**PROPOSED SOUTH CAROTHERS PKWY LEGEND:**

- SLOPE EASEMENT DEED BOOK 4971 PAGES 322-335
- TEMPORARY CONSTRUCTION EASEMENT DEED BOOK 4971 PAGES 322-335
- PERMANENT DRAINAGE EASEMENT DEED BOOK 4971 PAGES 335

**SITE DATA**

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 FRANKLIN, TENNESSEE

DEED BOOK: OWNER: JOHN T. HELM IV & ELLEN HELM SACCHI

EXISTING ZONING AND CHARACTER AREA OVERLAY: AG (AGRICULTURE DISTRICT) - McEWEN -6  
 PROPOSED ZONING: PUD IX - RESIDENTIAL VARIETY  
 OTHER APPLICABLE OVERLAYS: PFO & PWO  
 APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL  
 ACREAGE OF SITE: +/- 57.23

EXISTING SITE TREE CANOPY: +/- 16.86 AC (29 % OF TOTAL SITE AREA)  
 REQUIRED TREE CANOPY TO PRESERVE: +/- 9.10 AC (54 % OF EXISTING CANOPY)  
 PROVIDED TREE CANOPY PRESERVED: +/- 9.95 AC (59 % OF EXISTING CANOPY)



VICINITY MAP - NTS

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CONSULTANTS



03/07/13

**Helm Square**  
 PUD Development Plan  
 Franklin, TN  
 COF #2667

**Crescent Resources**  
 Charlotte, NC

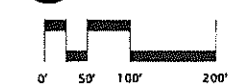
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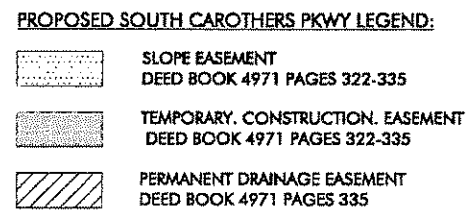
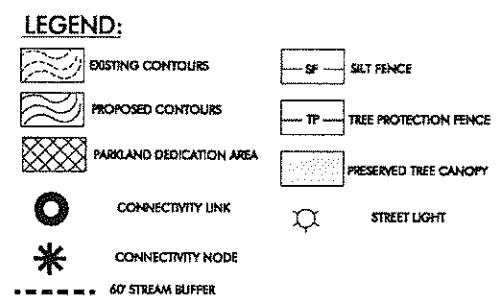
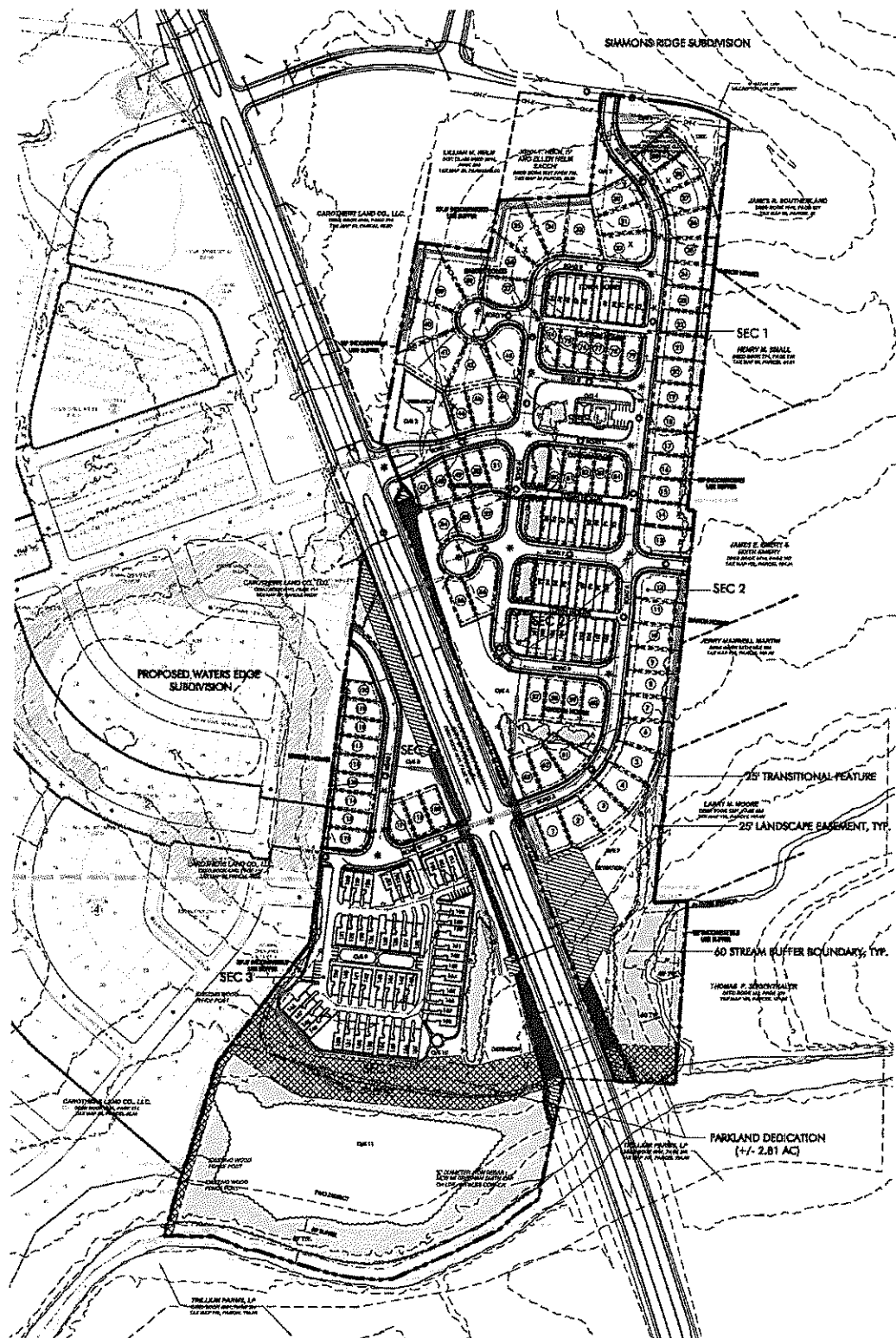


TREE CANOPY PRESERVATION PLAN

Sheet Number

E 2.00





**DEVELOPMENT PLAN NOTES:**

- BOUNDARY INFORMATION PROVIDED BY GRESHAM SMITH PARTNERS, TOPOGRAPHIC INFORMATION PROVIDED BY CITY OF FRANKLIN GIS DEPARTMENT.
- THIS PROPERTY CAN BE REFERENCED AS TAX MAP 89 8106, PARCELS 05001 & 18121.
- THERE ARE NO HISTORICAL STRUCTURES ON THIS SITE.
- THE PUD DEVELOPMENT PLAN WILL RESULT IN A TOTAL OF 168 PROPOSED UNITS. BASED ON AN AVERAGE OF 10 VEHICLE TRIPS PER DAY PER HOUSEHOLD UNIT, THIS WILL GENERATE A TOTAL OF 1,680 TOTAL VEHICLE TRIPS PER DAY.
- ADEQUATE TURNING MOVEMENTS SHALL BE PROVIDED FOR UTILITY AND SERVICE VEHICLES. ALL STREETS SHALL MEET THE CITY OF FRANKLIN TRANSPORTATION AND STREET TECHNICAL STANDARDS.
- INITIAL DISCUSSION WITH THE CITY OF FRANKLIN ENGINEERING INDICATES THERE IS ADEQUATE CAPACITY TO SERVE THE PROPOSED DEVELOPMENT WITH SEWER SERVICES.
- ALL PUBLIC IMPROVEMENTS TO BE LOCATED WITHIN AN EASEMENT.
- THE APPLICANT WILL ENDEAVOR, TO THE EXTENT POSSIBLE, TO PRESERVE EXISTING SUITABLE TREES ALONG THE EDGES AND THE INTERIOR OF THE SITE. EXISTING TREES TO BE SAVED WILL BE FLAGGED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. DURING THE CONSTRUCTION PHASE, THREE PROTECTION FENCING SHALL BE INSTALLED NEAR THE DRIP LINE OF THE PRESERVED TREES. NO CONSTRUCTION ACTIVITY OR STORAGE SHALL OCCUR WITHIN THE TREE PROTECTION ZONES.
- LIGHTING WILL BE PEDESTRIAN IN SCALE AND LOCATED TO ENSURE SAFE MOVEMENT OF PEDESTRIAN / VEHICLES AND FOR SECURITY PURPOSES WHILE ADHERING TO THE CITY OF FRANKLIN DESIGN STANDARDS. MIDDLE TENNESSEE ELECTRIC SHALL APPROVE STREET LIGHT STANDARDS. DIRECTIONAL LIGHTING WILL BE DESIGNED SO AS TO MINIMIZE GLARE AND REFLECTION ON ADJACENT PROPERTIES.
- SIGNS WILL MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN ZONING ORDINANCE, CHAPTER 8.7 SIGNS. SIGN CONTROLS WILL BE ESTABLISHED, FOR THE DEVELOPMENT, TO SAFELY FACILITATE PEDESTRIAN AND VEHICULAR MOVEMENT IN AN ATTRACTIVE AND EFFICIENT MANNER. SIGNAGE WILL BE COMPATIBLE WITH THE SURROUNDINGS, WILL BE APPROPRIATE TO RESIDENTIAL SCALE AND EXPRESS THE IDENTITY OF THE DEVELOPMENT.
- WATER FACILITIES  
WATER SERVICE WILL BE COORDINATED WITH THE CITY OF FRANKLIN TO PROVIDE ADEQUATE FLOW AND CAPACITY. ALL WATER MAINS SHALL BE LOCATED IN A 20' PUBLIC UTILITY EASEMENT.
- SEWER FACILITIES - SEWER SERVICE WILL BE COORDINATED WITH THE CITY OF FRANKLIN TO PROVIDE ADEQUATE FLOW AND CAPACITY. ALL SEWER LINES SHALL BE LOCATED IN A 20' SANITARY SEWER EASEMENT.
- A 25' TRANSITIONAL FEATURE HAS BEEN PROVIDED ON THE EASTERN BOUNDARY OF THE PROPERTY.
- ALL FACILITIES SHALL BE DESIGNED TO MEET ALL CITY OF FRANKLIN ORDINANCE.
- DEVELOPMENT STANDARDS WITHIN 500' OF THE SITE ARE CONVENTIONAL.
- SIMMONS RIDGE IS A PLANNED DEVELOPMENT TO THE NORTH OF OUR PROJECT SITE. THERE IS ALSO A FUTURE PROPOSED DEVELOPMENT TO THE WEST OF PROJECT BOUNDARY. MEETINGS HAVE BEEN CONDUCTED WITH THE OWNER REPRESENTATIVES FOR THE ADJACENT PROPOSED DEVELOPMENTS TO COORDINATE ACCESS POINTS AND CONNECTIVITY BETWEEN THE PROPERTIES.
- WATER, SEWER & REPURIFIED WATER FACILITIES  
 i) EXISTING FACILITIES  
 1) SANITARY SEWER SYSTEM  
 A) UTILITY DISTRICT JURISDICTION: CITY OF FRANKLIN  
 B) UTILITY DISTRICT ADDITIONAL FLOW IS 168 SFUE  
 1 SFUE = 350 GALLONS/UNIT/DAY  
 SFUE - SINGLE FAMILY UNIT EQUIVALENT  
 2) DOMESTIC WATER SUPPLY  
 A) UTILITY DISTRICT JURISDICTION: MILCROFTON  
 3) NATURAL GAS SERVICE  
 A) UTILITY DISTRICT JURISDICTION: ATMOS ENERGY  
 4) ELECTRIC SERVICE  
 A) UTILITY DISTRICT JURISDICTION: MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION  
 ii) PROPOSED FACILITIES  
 A) DEMAND IN GALLONS PER DAY  
 168 X 350 GPD = 58,800 GPD
- THERE ARE NO ANTICIPATED IMPACTS ON STREETS SHOWN IN THE MAJOR THOROUGHFARE PLAN, THE LOCAL STREET PLAN, OR THE BIKE PEDESTRIAN PLAN.
- FROM THIS SITE, IT IS APPROXIMATELY 2.5 MILES TO THE FIRE STATION ON HWY. 96/JORDAN ROAD AND 4 MILES TO THE CITY POLICE DEPARTMENT LOCATED DOWNTOWN AT CITY HALL. THE NEAREST PARK AND RECREATIONAL FACILITIES ARE LOCATED APPROXIMATELY 3.7 MILES WEST OF THE DEVELOPMENT ON HWY. 96 (PINKERTON PARK, CHEEK PARK AND THE WILLIAMSON COUNTY RECREATION CENTER ARE APPROXIMATELY 5.5 MILES FROM THE PROPOSED DEVELOPMENT).
- THIS DEVELOPMENT WILL RESULT IN AN INCREASE OF 168 HOUSEHOLD UNITS. BASED ON AN AVERAGE OF 0.64 SCHOOL AGE STUDENTS PER SINGLE FAMILY HOUSEHOLD, THIS WILL INCREASE THE CURRENT STUDENT SCHOOL POPULATION BY A TOTAL OF +/- 108 STUDENTS WITHIN THE FOLLOWING CATEGORIES: FRANKLIN HIGH SCHOOL, GRASSLAND MIDDLE SCHOOL, AND HUNTERS BEND ELEMENTARY SCHOOL.
- THE SUBJECT PROPERTY IS CONSISTENT WITH THE McEWEN CHARACTER AREA INCLUDING THE GUIDING PRINCIPALS OF SPECIAL AREA 6:

- REFLECTS SAME CHARACTER OF CURRENT AND PROPOSED DEVELOPMENT.
- THE PROPOSED DEVELOPMENT PATTERN CONSISTS OF LOTS WHICH ARE COMPARABLE TO THE EXISTING AND PROPOSED SURROUNDING DEVELOPMENT.
  - ALL PARKING REQUIREMENTS SHALL BE MET WITH GARAGES AND DRIVEWAYS AT EACH RESIDENTIAL UNIT AS WELL AS SUPPLEMENTAL ONSTREET PARKING WHERE VILLA UNITS ARE PLANNED.



**SITE DATA**

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 OWNER: JOHN T. HELM IV & ELLEN HELM SACCHI

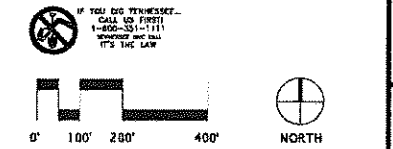
EXISTING ZONING AND CHARACTER AREA OVERLAY:	AG - McEWEN-6
PROPOSED ZONING:	PUD RX RESIDENTIAL VARIETY
OTHER APPLICABLE OVERLAYS:	PFO & PWO
APPLICABLE DEVELOPMENT STANDARD:	CONVENTIONAL
ACREAGE OF SITE	+/- 57.23
TOTAL UNITS:	168
DENSITY:	
SECTION 1:	3.55 DU/AC
SECTION 2:	2.91 DU/AC
SECTION 3:	2.02 DU/AC
SECTION 4:	2.55 DU/AC
RESIDENTIAL UNITS:	
MANOR:	32
GARDEN:	48
COTTAGE:	13
VILLA:	48
TOWN HOMES:	34
OPEN SPACE REQUIREMENTS	
FORMAL OPEN SPACE REQUIRED	+/- 2.86 AC
INFORMAL OPEN SPACE REQUIRED	+/- 5.75 AC
FORMAL OPEN SPACE PROVIDED	+/- 2.86 AC
INFORMAL OPEN SPACE PROVIDED	+/- 11.80 AC
OPEN SPACE CHART	
OPEN SPACE #1: INFORMAL	+/- 0.55 AC
OPEN SPACE #2: INFORMAL	+/- 0.17 AC
OPEN SPACE #3: INFORMAL	+/- 0.55 AC
OPEN SPACE #4: FORMAL	+/- 0.68 AC
OPEN SPACE #5A-2D: INFORMAL	+/- 0.05 AC
OPEN SPACE #6: INFORMAL	+/- 1.25 AC
OPEN SPACE #7: INFORMAL	+/- 1.73 AC
OPEN SPACE #8: INFORMAL	+/- 0.75 AC
OPEN SPACE #9: FORMAL	+/- 0.18 AC
OPEN SPACE #10: FORMAL	+/- 2.00 AC
OPEN SPACE #11: INFORMAL	+/- 6.74 AC
PARKLAND DEDICATION PROVIDED	+/- 2.81 AC (122,400 SF)
(35 UN x 1,200SF) + (134 UN x 600SF) = 122,400SF (+/- 2.81 AC)	
CONNECTIVITY INDEX	1.73
(26 UNKS / x15NODS = 1.73)	
PROPOSED BUILDING SETBACKS - MANOR LOTS	
FRONT BUILDING SETBACK:	15' MINIMUM
SIDE BUILDING SETBACK:	5' MINIMUM
REAR BUILDING SETBACK:	10' MINIMUM
PROPOSED BUILDING SETBACKS - GARDEN, COTTAGE LOTS	
FRONT BUILDING SETBACK:	8' MINIMUM
SIDE BUILDING SETBACK:	5' MINIMUM
REAR BUILDING SETBACK:	10' MINIMUM
PROPOSED BUILDING SETBACKS - VILLA, TOWN HOME LOTS	
FRONT BUILDING SETBACK:	5' / 8' MINIMUM (SEE SHEET A1.00)
SIDE BUILDING SETBACK:	5' MINIMUM
REAR BUILDING SETBACK:	4' MINIMUM

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03/07/13

**Helm Square**  
**PUD Development Plan**  
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**Crescent Resources**  
 Charlotte, NC

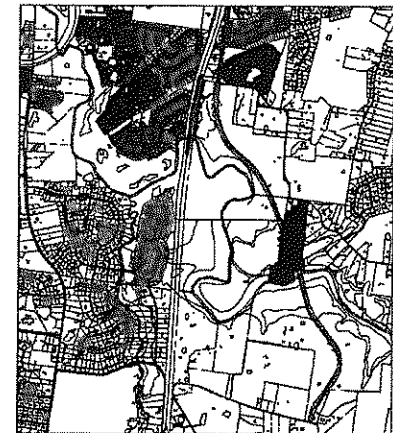
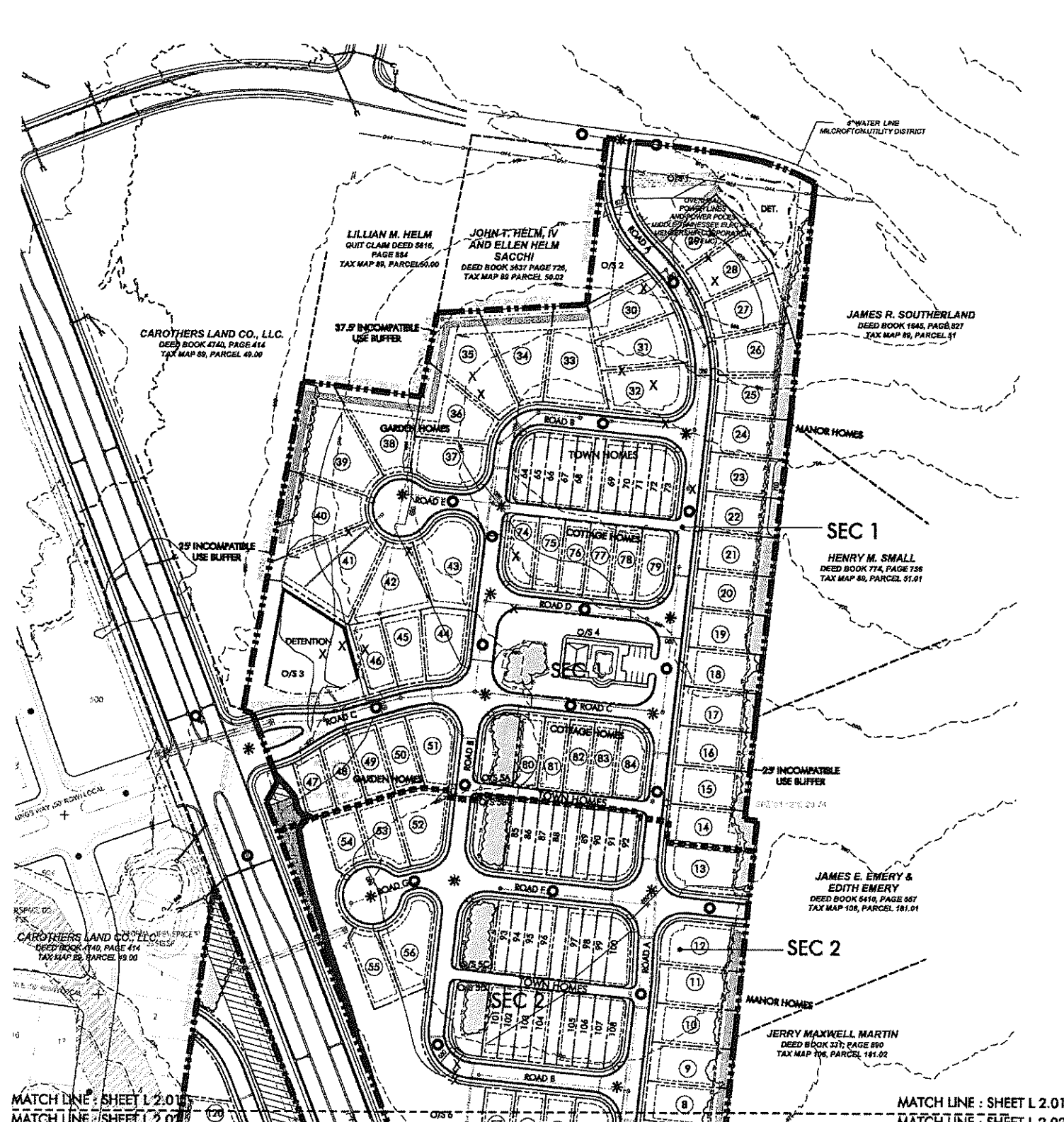
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Sheet Title

DEVELOPMENT PLAN

Sheet Number

L 1.00



**SITE DATA**

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 APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL  
 ACREAGE OF SITE: +/- 57.23  
 TOTAL UNITS: 168  
 DENSITY:  
 SECTION 1: 3.55 DU/AC  
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 SECTION 4: 2.55 DU/AC

RESIDENTIAL UNITS:  
 MANOR: 32  
 GARDEN: 43  
 COTTAGE: 11  
 VILLA: 48  
 TOWN HOMES: 34

OPEN SPACE REQUIREMENTS  
 FORMAL OPEN SPACE REQUIRED: +/- 2.86 AC.  
 INFORMAL OPEN SPACE REQUIRED: +/- 5.75 AC.  
 FORMAL OPEN SPACE PROVIDED: +/- 2.86 AC.  
 INFORMAL OPEN SPACE PROVIDED: +/- 11.80 AC.

OPEN SPACE CHART  
 OPEN SPACE #1: INFORMAL +/- 0.55 AC.  
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 OPEN SPACE #3: INFORMAL +/- 0.56 AC.  
 OPEN SPACE #4: FORMAL +/- 0.68 AC.  
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 OPEN SPACE #11: INFORMAL +/- 6.74 AC.

PAVING DEDICATION PROVIDED: +/- 2.81 AC (122,400 SF)  
 (35 UN x 1,200SF) + (184 UN x 600SF) = 122,400SF (+/- 2.81 AC)

CONNECTIVITY INDEX: 1.73  
 (26 LINKS / x15 NODES = 1.73)

PROPOSED BUILDING SETBACKS - MANOR LOTS  
 FRONT BUILDING SETBACK: 15' MINIMUM  
 SIDE BUILDING SETBACK: 5' MINIMUM  
 REAR BUILDING SETBACK: 10' MINIMUM

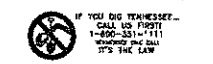
PROPOSED BUILDING SETBACKS - GARDEN, COTTAGE LOTS LOTS  
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- LEGEND:**
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - PARKLAND DEDICATION AREA
  - CONNECTIVITY LINK
  - CONNECTIVITY NODE
  - 60' STREAM BUFFER
  - SF SILT FENCE
  - TP TREE PROTECTION FENCE
  - PRESERVED TREE CANOPY
  - STREET LIGHT

- PROPOSED SOUTH CAROTHERS PKWY LEGEND:**
- SLOPE EASEMENT  
DEED BOOK 4971 PAGES 322-335
  - TEMPORARY CONSTRUCTION EASEMENT  
DEED BOOK 4971 PAGES 322-335
  - PERMANENT DRAINAGE EASEMENT  
DEED BOOK 4971 PAGES 335

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 PUD Development Plan  
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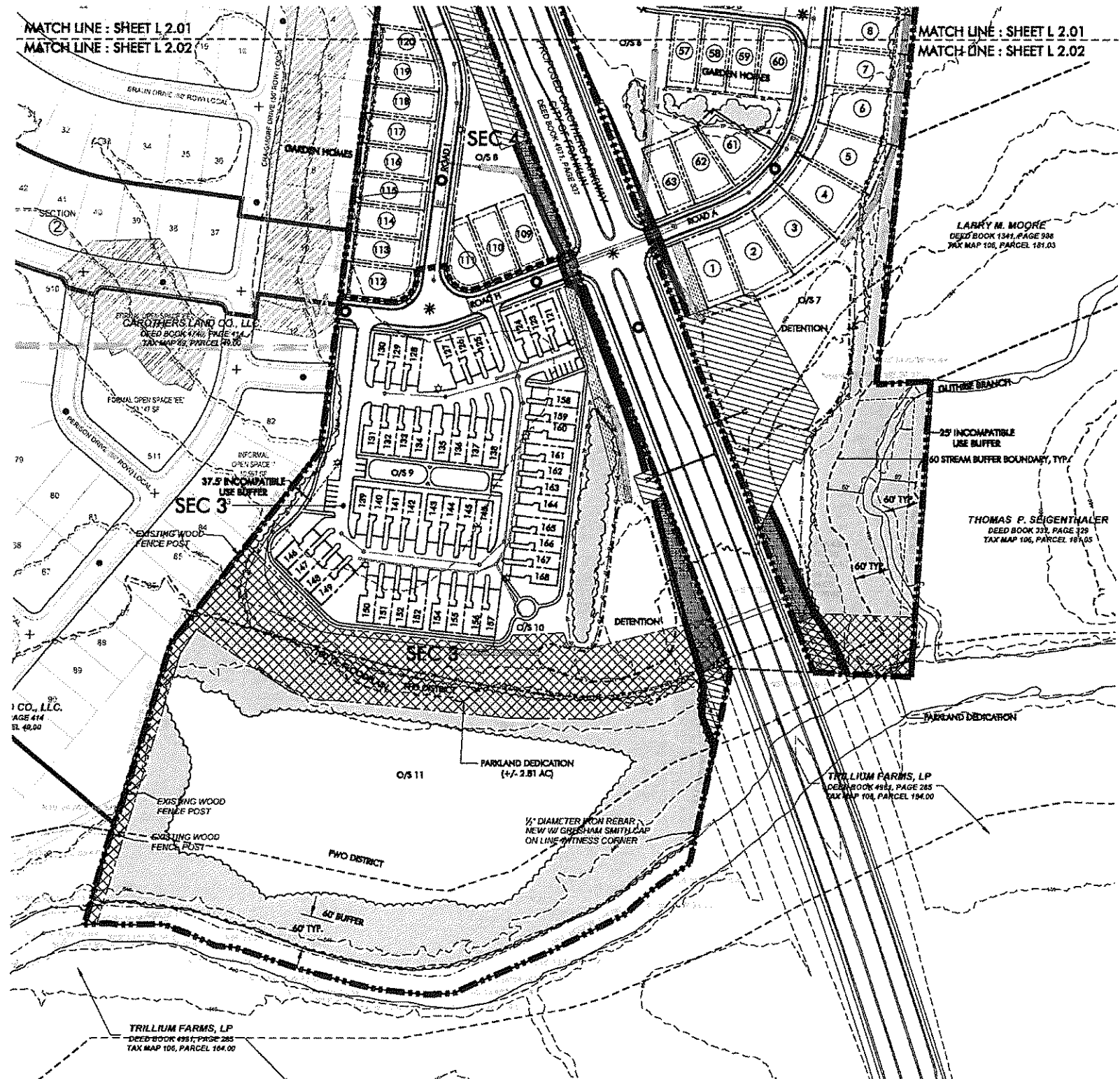
**Crescent  
 Resources  
 Charlotte, NC**

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 Date 2/11/13  
 Revisions  
 03/07/2013

Sheet Title

DEVELOPMENT PLAN

Sheet Number



**SITE DATA**

PROJECT NAME:	HELM SQUARE
TAX MAP:	89 & 106
PARCEL:	089-05001 & 106-18121
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	14
LAND USE/ZONING:	AG (AGRICULTURAL DISTRICT)
ADDRESS:	4419 S CAROTHERS ROAD FRANKLIN, TENNESSEE
DEED BOOK:	
OWNER:	JOHN T. HELM IV & ELLEN HELM SACCH
EXISTING ZONING AND CHARACTER AREA OVERLAY:	AG - McEWEN-6
PROPOSED ZONING:	PUD RX RESIDENTIAL VARIETY
OTHER APPLICABLE OVERLAYS:	FFO & FWO
APPLICABLE DEVELOPMENT STANDARD:	CONVENTIONAL
ACREAGE OF SITE:	+/- 57.28
TOTAL UNITS:	168
DENSITY:	
SECTION 1:	3.55 DU/AC
SECTION 2:	2.91 DU/AC
SECTION 3:	2.02 DU/AC
SECTION 4:	2.55 DU/AC
RESIDENTIAL UNITS:	
MANOR:	32
GARDEN:	43
COTTAGE:	11
VILLA:	48
TOWN HOMES:	34
OPEN SPACE REQUIREMENTS	
FORMAL OPEN SPACE REQUIRED	+/- 2.86 AC.
INFORMAL OPEN SPACE REQUIRED	+/- 8.75 AC.
FORMAL OPEN SPACE PROVIDED	+/- 2.86 AC.
INFORMAL OPEN SPACE PROVIDED	+/- 11.80 AC.
OPEN SPACE CHART	
OPEN SPACE #1: INFORMAL	+/- 0.55 AC.
OPEN SPACE #2: INFORMAL	+/- 0.17 AC.
OPEN SPACE #3: INFORMAL	+/- 0.54 AC.
OPEN SPACE #4: FORMAL	+/- 0.68 AC.
OPEN SPACE #5A-SD: INFORMAL	+/- 0.05 AC.
OPEN SPACE #5: INFORMAL	+/- 1.25 AC.
OPEN SPACE #7: INFORMAL	+/- 1.73 AC.
OPEN SPACE #8: INFORMAL	+/- 0.75 AC.
OPEN SPACE #9: FORMAL	+/- 0.18 AC.
OPEN SPACE #10: FORMAL	+/- 2.00 AC.
OPEN SPACE #11: INFORMAL	+/- 6.74 AC.
PARKLAND DEDICATION PROVIDED	+/- 2.81 AC. (122,400 SF)
(35 UN x 1,200SF) + (134 UN x 600SF) = 122,400SF (+/- 2.81 AC)	
CONNECTIVITY INDEX	1.73
(26 UNRS / x15NODS = 1.73)	
PROPOSED BUILDING SETBACKS - MANOR LOTS	
FRONT BUILDING SETBACK:	15' MINIMUM
SIDE BUILDING SETBACK:	5' MINIMUM
REAR BUILDING SETBACK:	10' MINIMUM
PROPOSED BUILDING SETBACKS - GARDEN, COTTAGE LOTS LOTS	
FRONT BUILDING SETBACK:	8' MINIMUM
SIDE BUILDING SETBACK:	5' MINIMUM
REAR BUILDING SETBACK:	10' MINIMUM

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03/07/13

**Helm Square**  
**PUD Development Plan**  
 Franklin, TN  
 COF #2667

**Crescent Resources**  
 Charlotte, NC

PROJECT NO.	13007
Date	2/11/13
Revisions	
	03/07/2013

Sheet Title  
 DEVELOPMENT PLAN

Sheet Number  
 L 1.02

**LEGEND:**

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PARKLAND DEDICATION AREA
- CONNECTIVITY LINK
- CONNECTIVITY NODE
- 60' STREAM BUFFER
- SILT FENCE
- TREE PROTECTION FENCE
- PRESERVED TREE CANOPY
- STREET LIGHT

**PROPOSED SOUTH CAROTHERS PKWY LEGEND:**

- SLOPE EASEMENT  
DEED BOOK 4971 PAGES 322-335
- TEMPORARY CONSTRUCTION EASEMENT  
DEED BOOK 4971 PAGES 322-335
- PERMANENT DRAINAGE EASEMENT  
DEED BOOK 4971 PAGES 335

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DEVELOPER:  
 T. KETH GLENN  
 CRESCENT RESOURCES  
 227 W. TRADE STREET  
 SUITE 1000  
 CHARLOTTE, NC, 28202

DEVELOPER:  
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 205 POWELL PLACE  
 BRENTWOOD TN 37027  
 kpascarella@pearlstreetpartners.com



**STORMWATER MANAGEMENT**

A LARGE PORTION OF DRAINAGE AREA L-23 ACROSS WILL DRAIN TO THE DRY POND IN THE SOUTHWESTERN CORNER OF THE PROPERTY. RUNOFF WILL REACH THE POND VIA A COMBINATION OF OVERLAND FLOW, GRASS SWALES, AND A SUBSURFACE DRAINAGE SYSTEM. THE SOUTHERN PORTION OF DRAINAGE AREA L WILL REMAIN UNDISTURBED AND APPROXIMATELY 5.3 ACRES WILL BE DEDICATED AS A NATURAL CONSERVATION AREA. APPROXIMATELY 17.5 ACRES OF DRAINAGE AREA L WILL DRAIN TO THE WET POND IN THE SOUTHEASTERN CORNER. RUNOFF WILL REACH THE POND VIA A COMBINATION OF OVERLAND FLOW, GRASS SWALES, AND A SUBSURFACE DRAINAGE SYSTEM. APPROXIMATELY 1.8 ACRES OF DRAINAGE AREA L, COMPOSED OF OPEN SPACE AND (TYP) GRASS SWALE WILL DRAIN VIA A COMBINATION OF OVERLAND FLOW AND A SUBSURFACE DRAINAGE SYSTEM TO A WET POND IN THE NORTHWESTERN PORTION OF THE SITE ALONG PROPOSED CAROTHERS PARKWAY. THERE IS A SMALL PORTION OF THE NORTHERN SECTION OF THE DEVELOPMENT THAT WILL DRAIN OFFSITE. THIS AREA WILL BE COMPENSATED FOR BY DETAINING MORE WATER IN THE NEARBY WET POND TO ACHIEVE SUFFICIENT WATER QUANTITY VOLUME. DRAINAGE AREA L WILL DRAIN TO A DRY POND IN THE NORTHWESTERN CORNER OF THE SITE VIA A COMBINATION OF OVERLAND FLOW, GRASS SWALES, AND A SUBSURFACE DRAINAGE SYSTEM.

**LEGEND**

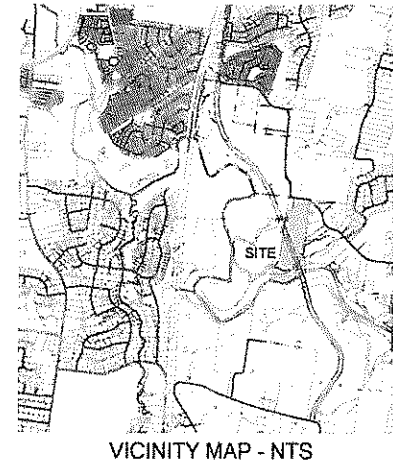
	STORM SEWER
	STREET LIGHT
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SECTION LINES
	PROP. DRAINAGE BASINS
	BLDG. SETBACK LINES

**LEGEND**

	SLOPE EASEMENT DEED BOOK 4971 PAGES 322-325
	PERMANENT DRAINAGE EASEMENT DEED BOOK 4971 PAGES 335

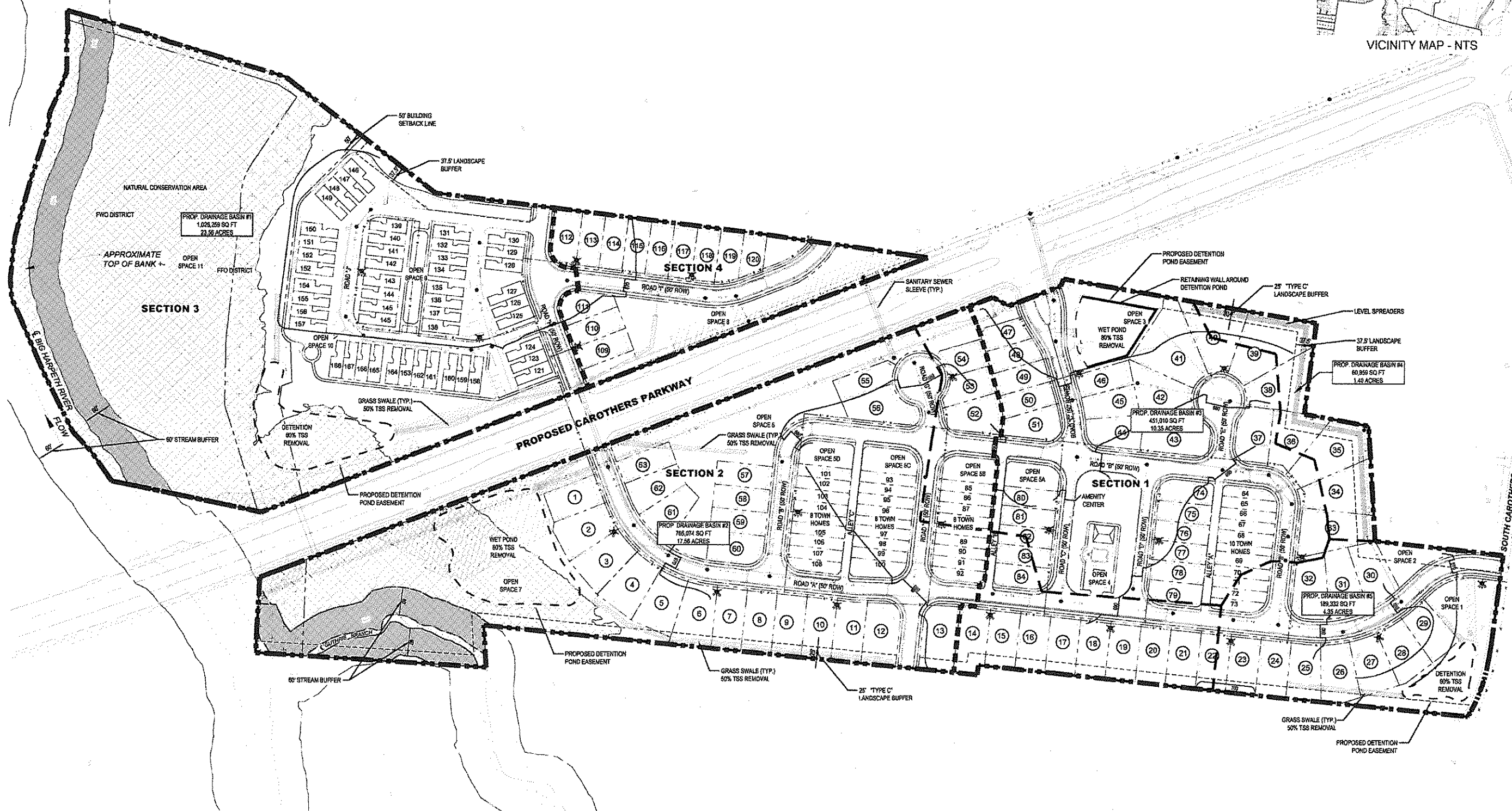
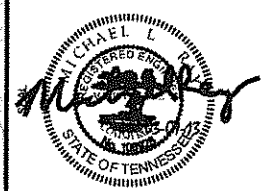
**SITE DATA**

SITE ACREAGE	+/- 55.50 AC
FLOODPLAIN	+/- 14.52 AC
PROP. UTILITY EASEMENT (BY OTHERS)	+/- 1.62 AC
PARK DEDICATION	+/- 3.23 AC
TOTAL DEVELOPABLE ACREAGE	+/- 36.13 AC
PROPOSED ACCESS EASEMENT	



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**PROJECT TITLE**  
 Helm Square  
 PUD Development Plan  
 Franklin, TN  
 COF # \_\_\_\_\_

**CLIENT**  
 Crescent Resources  
 Charlotte, NC

**PROJECT NO.** 12142  
**Date** 2/11/13  
**Revisions:**  
 03/07/2013




**Sheet Title**  
 STORMWATER  
 MANAGEMENT  
 PLAN

**Sheet Number**  
 C-2.0





**LEGEND**

-  SLOPE EASEMENT  
DEED BOOK 4971 PAGES 322-335
-  PERMANENT DRAINAGE EASEMENT  
DEED BOOK 4971 PAGES 335
-  FLOODPLAIN



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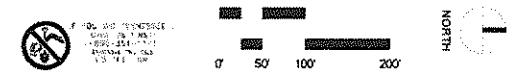
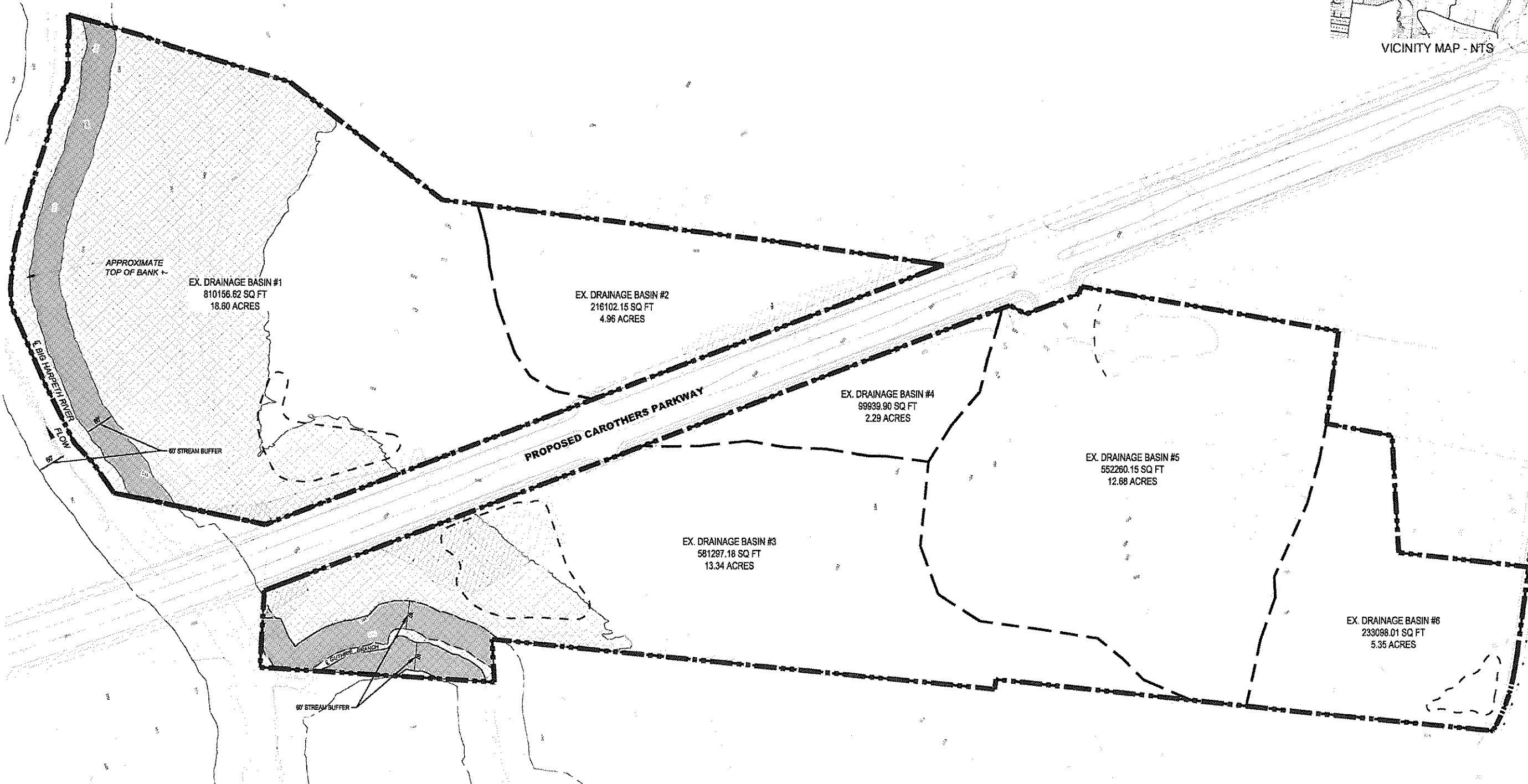
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**Helm Square**  
PUD Development Plan  
Franklin, TN  
COF # \_\_\_\_\_

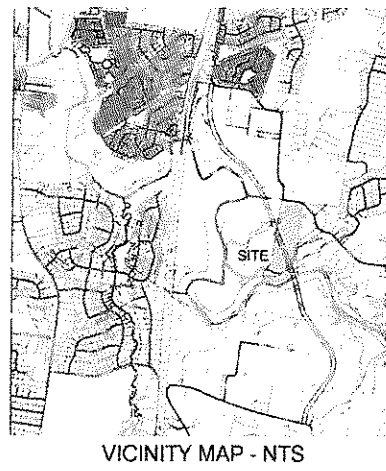
CLIENT  
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PROJECT NO 12142  
Date 2/11/13  
Revisions  
△ 03/07/2013

Sheet Title  
**EXISTING DRAINAGE BASINS**

Sheet Number  
**C-3.0**





VICINITY MAP - NTS

**LEGEND**

	SLOPE EASEMENT DEED BOOK 4971 PAGES 322-335
	PERMANENT DRAINAGE EASEMENT DEED BOOK 4971 PAGES 335

**SITE DATA**

SITE ACREAGE	+/- 55.50 AC
FLOODPLAIN	+/- 14.52 AC
PROP UTILITY EASEMENT (BY OTHERS)	+/- 1.62 AC
PARK DEDICATION	+/- 3.23 AC
TOTAL DEVELOPABLE ACREAGE	+/- 36.13 AC
PROPOSED ACCESS EASEMENT	

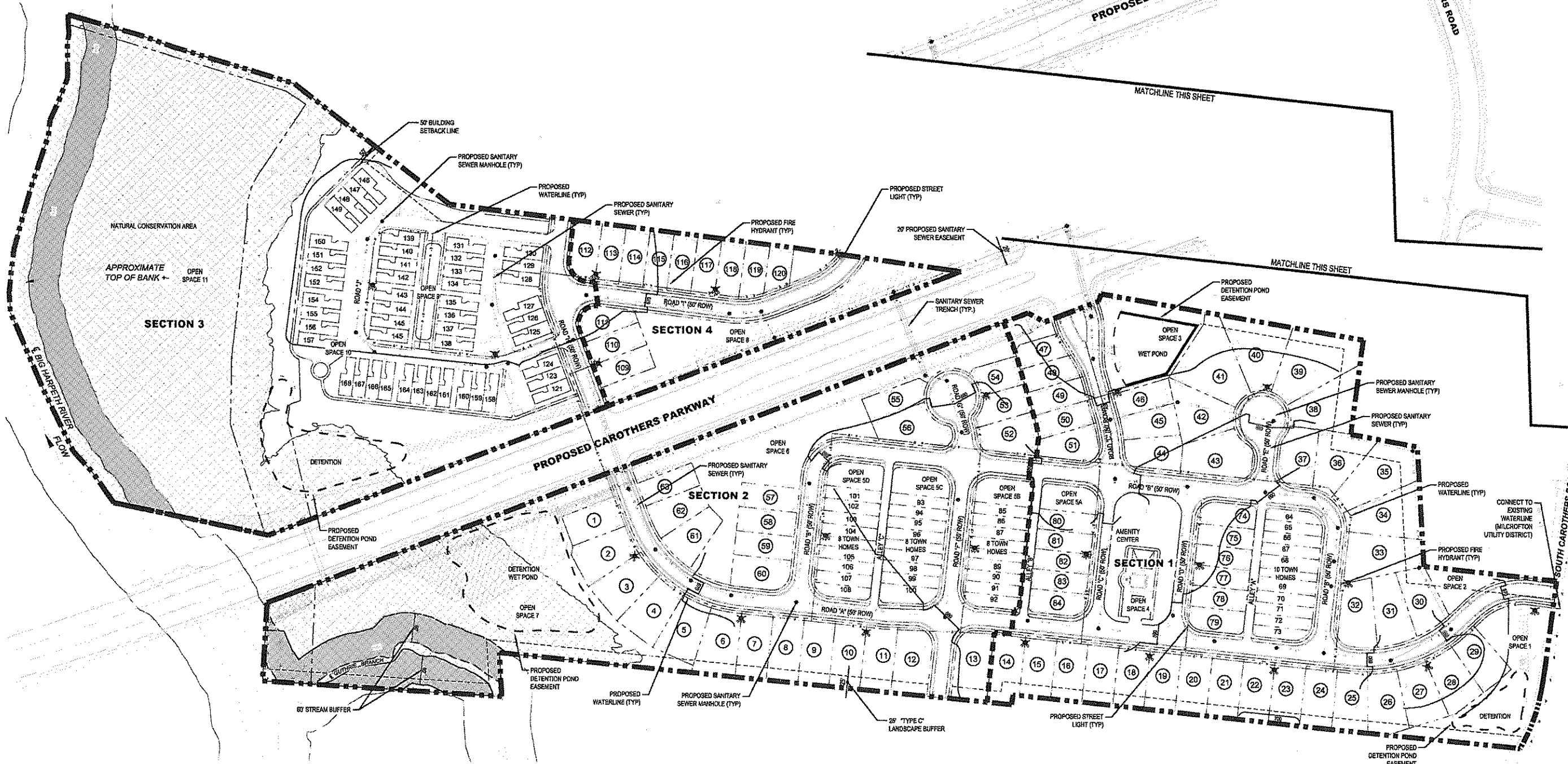
**LEGEND**

	SANITARY SEWER
	STORM SEWER
	WATERLINE
	STREET LIGHT
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SECTION LINES
	BLDG. SETBACK LINES

**NOTES:**

1. PROPOSED GRADING, STORMWATER, AND UTILITY INFRASTRUCTURE IS CONCEPTUALLY SHOWN AND MAY DIFFER FROM THE FINAL DESIGN.
2. ALL SEWER LINES SERVING TWO OR MORE BUILDINGS MUST BE PUBLIC LINES WITH MINIMUM INSIDE DIA. OF 8".

TIE INTO EXISTING 24" SANITARY SEWER MANHOLE



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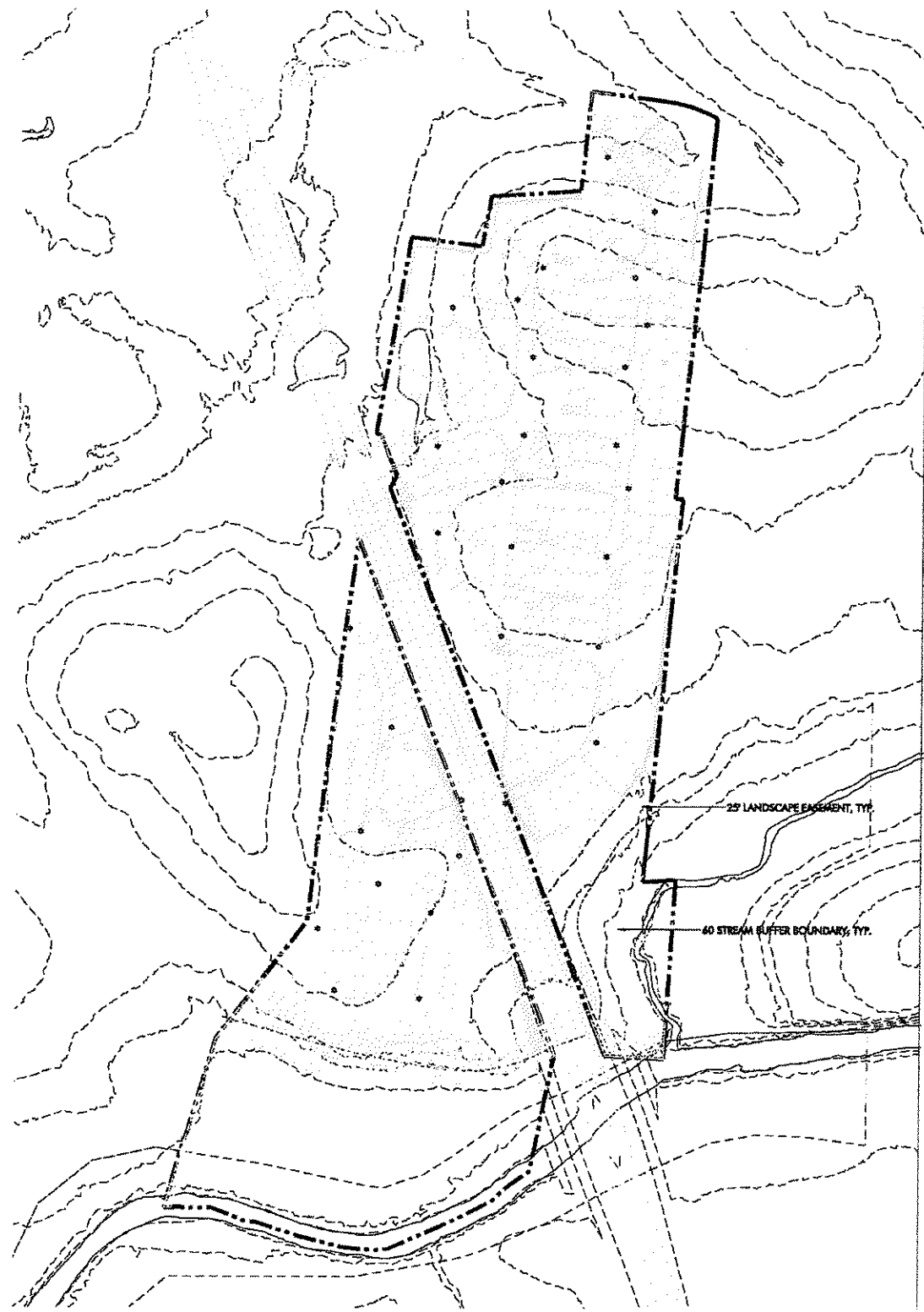
**Helm Square**  
 PUD Development Plan  
 Franklin, TN  
 COF # \_\_\_\_\_

**Crescent Resources**  
 Charlotte, NC

PROJECT NO. 12142  
 Date 2/11/13  
 Revisions  
 03/07/2013

**UTILITY PLAN**  
 Sheet Number  
 C-4.0





**LEGEND:**

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PARKLAND DEDICATION AREA
- CONNECTIVITY LINK
- CONNECTIVITY NODE
- 60' STREAM BUFFER
- SF SILT FENCE
- TP TREE PROTECTION FENCE
- STREET LIGHT

**PROPOSED SOUTH CAROTHERS PKWY LEGEND:**

- SLOPE EASEMENT  
DEED BOOK 4971 PAGES 322-335
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DEED BOOK 4971 PAGES 335



VICINITY MAP - NTS

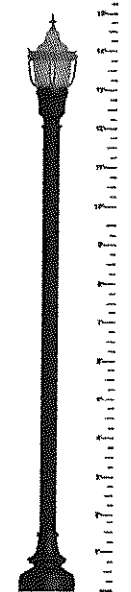
**SITE DATA**

PROJECT NAME: HELM SQUARE  
 TAX MAP: 89 & 106  
 PARCEL: 089-05001 & 106-18121  
 CITY: FRANKLIN  
 COUNTY: WILLIAMSON  
 STATE: TENNESSEE  
 CIVIL DISTRICT: 14  
 LAND USE/ZONING: AG (AGRICULTURAL DISTRICT)  
 ADDRESS: 4419 S CAROTHERS ROAD  
 FRANKLIN, TENNESSEE

DEED BOOK:  
 OWNER: THOMAS HELM III

EXISTING ZONING AND CHARACTER AREA OVERLAY: AG - McWEN-6  
 OTHER APPLICABLE OVERLAYS: N/A  
 APPLICABLE DEVELOPMENT STANDARD: CONVENTIONAL  
 ACREAGE OF SITE: +/- 57.23  
 TOTAL UNITS: 168

UTILITY GRANVILLE LUMINAIRE  
 WADSWORTH  
 Cast Aluminum Lighting Post



DECORATIVE POST TOP FIXTURE DETAIL

STREET LIGHTING LOCATIONS AND QUANTITIES ARE APPROXIMATE. FINAL POSITIONING AND QUANTITY SHALL BE AT DIRECTION OF MTEMC.

LUMINAIRE SCHEDULE							
SYMBOL	QTY	CATALOG NUMBER	DESCRIPTION	LAMP	FILE	LUMENS	LLF
	28	HOLOPHANE #GV100HPO003R3X WADSWORTH POST #ZW12F517CABK	UTILITY GRANVILLE WITH GOLD BANDS AND 12'-0" WADSWORTH SERIES CAST ALUMINUM POST	100 W CLEAR HPS	47212.IES	9500	0.72

**SITE LIGHTING DATA**

Development Standard: Conventional  
 Landuse: Estate Residential (ER)  
 Zoning District: Varies  
 Height of Proposed / Existing Building: 12'-0"  
 Pole Height: Black  
 Pole / Fixture Color: High Pressure Sodium  
 Color of Light:

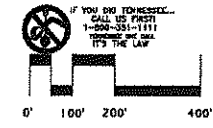
THIS LIGHTING PLAN HAS BEEN DESIGNED TO MEET THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED LIGHTING PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION

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 jhaas@edgeja.com

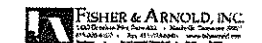
DEVELOPER:  
 T. KEITH GLENN  
 CRESCENT RESOURCES  
 227 W. TRADE STREET  
 SUITE 1000  
 CHARLOTTE, NC. 28202

DEVELOPER:  
 CHRIS PASCARELLA  
 PEARL STREET PARTNERS, LLC  
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 kpascarella@pearlstreetpartners.com



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**Helm Square**  
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PROJECT NO. 13007  
 Date 2/11/13  
 Revisions

03/07/2013

Sheet Title

LIGHTING PLAN

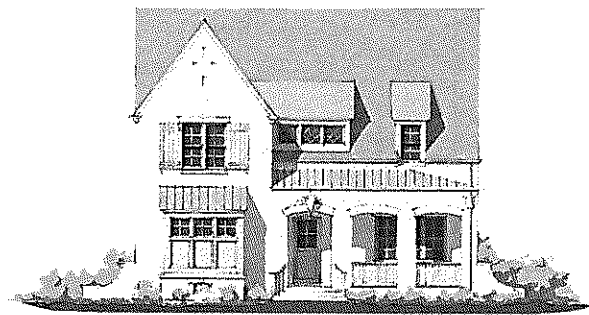
Sheet Number

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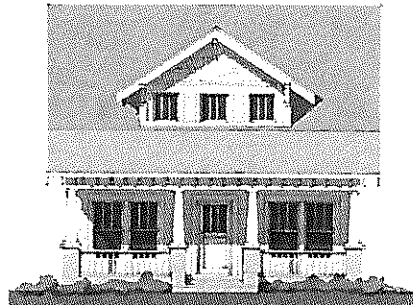
**ARCHITECTURAL INTENT:**  
THE HOMES IN HELM SQUARE WILL BE OF AN EARLY 20TH CENTURY SOUTHERN VERNACULAR. SPECIFICALLY, THE STYLES THAT WILL INFLUENCE THE COMMUNITY ARE AS FOLLOWS:



CLASSICAL



ENGLISH TUDOR



CRAFTSMAN



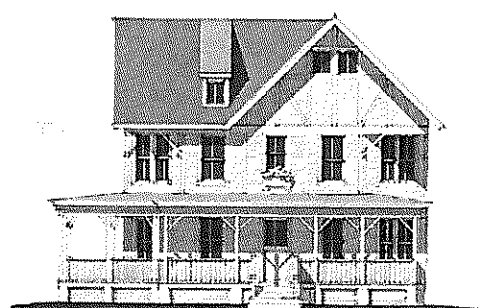
FRONT LOAD ELEVATION



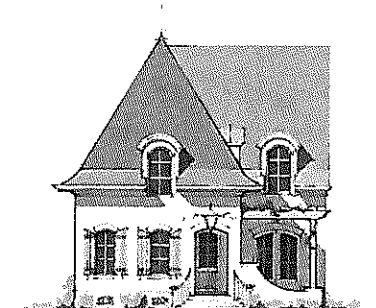
VICINITY MAP - NTS



FEDERAL



VICTORIAN



FRENCH COUNTRY

**TYPICAL ARCHITECTURE NOTES:**

1. THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION / CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE CODES DIRECTOR OF THE PLANNING COMMISSION.
2. THESE ELEVATIONS ARE A SAMPLING OF THE PROPOSED HOME ELEVATIONS. THE APPLICANT ANTICIPATES MULTIPLE VARIATIONS OF MATERIALS OF EACH ELEVATION PROVIDED. MATERIALS AND COLORS ARE SUBJECT TO FINAL APPROVAL BY THE CITY OF FRANKLIN.
3. FINISHED FLOOR ELEVATION (FFE) SHALL BE A MINIMUM 18" ABOVE FINISH GRADE PER CITY OF FRANKLIN REQUIREMENTS.
4. PER THE CITY OF FRANKLIN ARCHITECTURAL DESIGN STANDARDS, PRIMARY FACADE MATERIALS SHALL NOT CHANGE AT OUTSIDE CORNERS AND SHALL CONTINUE ALONG ANY SIDE FACADE VISIBLE FROM A STREET RIGHT-OF-WAY. HOWEVER, MATERIALS MAY CHANGE WHERE SIDE OR REAR WINGS MEET THE MAIN BODY OF THE DWELLING.
5. FRONT LOAD GARAGE DOORS SHALL ADHERE TO STANDARDS SET FORTH IN SECTION 5.3.5(2) OF THE FRANKLIN ZONING ORDINANCE.
6. GARAGES ON CORNER LOTS WITH SIDES VISIBLE FROM A STREET RIGHT-OF-WAY SHALL INCLUDE ARCHITECTURAL DETAILS AND WINDOWS THAT MIMIC THE FEATURES OF THE LIVING PORTION OF THE BUILDING THEY SERVE.
7. ALL ARCHITECTURAL STYLES CAN BE BUILT AS FRONT LOAD, SIDE LOAD OR REAR LOAD BUILDING ELEVATIONS.
8. WHERE CORNER LOTS EXIST, NO STREET FACING FACADE SHALL HAVE A BLANK WALL.

**TYPICAL ARCHITECTURAL STANDARDS:**

PROPOSED HEIGHT OF BUILDINGS: 1-3 STORIES  
 PROPOSED SQUARE FOOTAGE OF BUILDINGS: +/- 1,100 - +/- 4,500 SF.

**\* DESIGN MODIFICATION**

1. THE APPLICANT REQUESTS A DESIGN MODIFICATION TO ALLOW GARAGE DOORS IN EXCESS OF 9' WIDTH ON SIDE LOAD AND REAR LOAD GARAGES.

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03/07/13

PROJECT TITLE  
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 PUD Development Plan  
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CLIENT  
**Crescent Resources  
 Charlotte, NC**

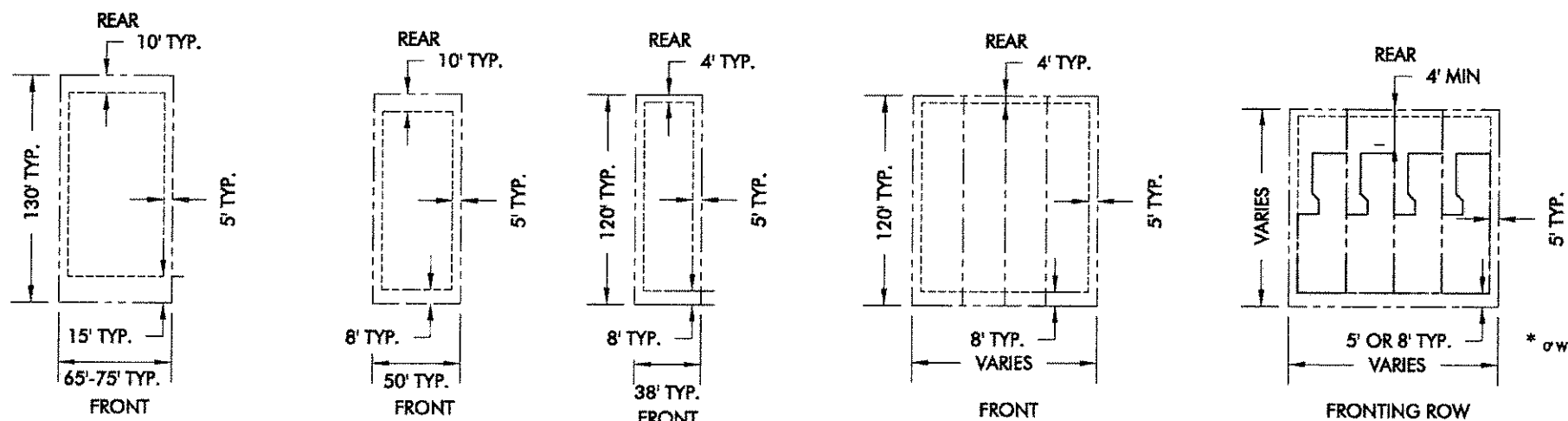
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 03/07/2013

Sheet Title

ARCHITECTURAL  
 ELEVATIONS

Sheet Number

A 1.00



\* 0' WHEN FRONTING GREEN SPACE

1 MANOR LOT, TYP.

GARDEN LOT, TYP.

COTTAGE LOT, TYP.

TOWN HOME LOT, TYP.

VILLA LOT, TYP.

NTS